

PROJECT INFORMATION

18 front St, Nyack New York 10960 - **Section 60.77, Block 1, Lot 48**  
Scope of Work: New west facing addition & retroactive permit request for existing 64 SF utility greenhouse.  
Work Area: 661SF (300 SF Addition + 297 SF Deck + 64SF Greenhouse)  
Existing Dwelling SF: 1,114 SF  
Total Proposed Dwelling SF: 1,414 SF (1,114 SF Existing + 300 SF Addition)  
Construction Type: Type V-B  
Occupancy Classification: Detached Single Family Dwelling

ZONING COMPLIANCE TABLE: TFR DISTRICT (SEE A-020 FOR ACCESSORY STRUCTURE TABLE)

| BULK ELEMENT                       | REQUIRED (TFR)                            | EXISTING         | PROPOSED TOTAL              |
|------------------------------------|-------------------------------------------|------------------|-----------------------------|
| Min. Lot Area                      | 5,000 SF                                  | 6,500 SF         | 6,500 SF (no change)        |
| Min. Lot Width                     | 50'                                       | 52'              | 52' (no change)             |
| Max. Accessory Coverage            | 7.0% (455 SF)                             | 3.6% (233.04 SF) | 4.3% (279.04 SF)            |
| Min. Front Setback                 | 25.0' (20% × Lot Area ÷ Lot Width)        | 27'-8"           | 27'-8" (no change)          |
| Min. Side Setback (each)           | 5.2' (greater of 5 ft or 10% × Lot Width) | 8.1'             | 8.1' / 19'-5" (no change)   |
| Min. Side Setback (both, combined) | 15.6' (30% × Lot Width)                   | 27'-6" combined  | 27'-6" combined (no change) |
| Min. Rear Setback                  | 37.5' (30% × Lot Area ÷ Lot Width)        | 57.3'            | 44.3' (to end of new deck)  |
| Building Height                    | 32' / 2 stories                           | 25'-0"           | 12'-4" (proposed addition)  |

ENERGY COMPLIANCE NOTES

| COMPONENT         | PROPOSED R-VALUE/U-FACTOR | SPECIFICATION                    |
|-------------------|---------------------------|----------------------------------|
| Exterior Walls    | R-21+R-5(c.i.)            | 2x6 w/ Fiberglass + Zip R-Sheath |
| Flat/Lean-to Roof | R-49                      | Closed Cell Spray Foam or Batts  |
| Framed Floor      | R-30                      | Fiberglass Batts in Joist Bays   |
| Windows (U-Value) | U-0.27(Max)               | Double Pane, Low-E, Argon        |
| Doors (U-Value)   | U-0.20(Max)               | Insulated Fiberglass or Steel    |
| Foundation Wall   | R-15                      | Continuous Interior Rigid Foam   |
| Air Sealing       | <3.0ACH50                 | Per R402.4.1.2 (Visual/Blower)   |

SHEET LIST

| SHEET NUMBER | SHEET NAME                      | Current Revision |
|--------------|---------------------------------|------------------|
| A-020        | SITE PLAN                       | 1                |
| A-100        | FLOOR PLAN                      | 1                |
| A-110        | ROOF PLAN - EXISTING & PROPOSED | 1                |
| A-120        | FOUNDATION PLAN                 | 1                |
| A-130        | FLOOR & DECK FRAMING PLAN       | 1                |
| A-140        | ELECTRICAL PLANS                | 1                |
| A-200        | ELEVATIONS                      | 1                |
| A-300        | BUILDING SECTIONS               | 1                |
| A-400        | INTERIOR ELEVATIONS             | 1                |
| A-500        | BUILDING DETAILS                | 1                |
| A-510        | BUILDING DETAILS                | 1                |
| A-511        | BUILDING DETAILS                | 1                |
| A-600        | SCHEDULES                       | 1                |
| S-010        | SITE SURVEY                     | 1                |

EROSION AND SEDIMENT CONTROL

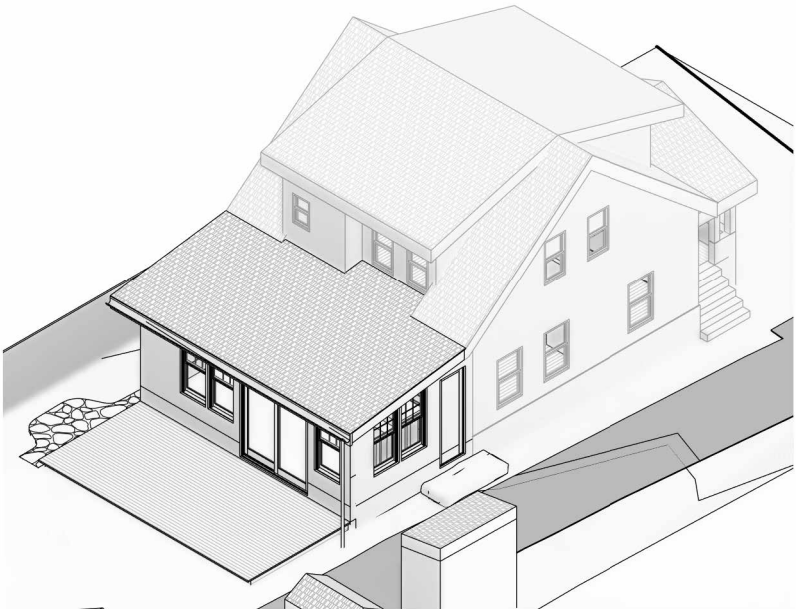
Erosion and sediment control measures shall be installed prior to commencement of soil disturbance and maintained throughout construction in accordance with the New York State Standards and Specifications for Erosion and Sediment Control ("Blue Book"), current edition. Measures shall include silt fence and/or filter sock along the downhill perimeter of the ~ 1,200 SF disturbance area, a stabilized construction entrance where applicable, and prompt seeding/stabilization of all disturbed soil upon completion of grading. Area of disturbance (±1,200 SF / 0.03 ac) is below the threshold requiring a SWPPP

PROPOSED TOTAL COVERAGE BREAKDOWN

Principal Building: 1,126.84SF (House+Porch+Addition)  
Accessory Buildings: 279.04SF (Garage+Shed+Greenhouse+Trash)  
Paved Driveway: 979.15SF  
Proposed Rear Deck: 297.00SF  
Bluestone Walkways: 95.00SF  
**TOTAL PROPOSED: 2,777.03SF | TOTAL LOT: 6,500SF | PERCENTAGE : 42.72%**

BUILDING CODE COMPLIANCE

1. APPLICABLE CODES: 2025 RESIDENTIAL CODE OF NEW YORK STATE (2025 RCNYS); 2025 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (2025 ECCCNYS); VILLAGE OF NYACK CODE CHAPTERS 140 AND 360.
2. SCOPE OF WORK IS CLASSIFIED AS AN ADDITION PER 2025 RCNYS APPENDIX BO, **SECTION BO106 (ADDITIONS)** ALL NEW WORK COMPLIES WITH THE 2025 RCNYS AS FOR NEW CONSTRUCTION PER **SECTIONS BO102 (COMPLIANCE) AND BO106**.
3. STRUCTURE (**SECTION BO106.2 STRUCTURE FOR HORIZONTAL ADDITIONS**) NEW CONSTRUCTION ATTACHED TO THE EXISTING DWELLING MEETS THE STRUCTURAL REQUIREMENTS OF THIS CODE FOR NEW CONSTRUCTION. THE ADDITION BEARS ON NEW CONTINUOUS FOOTINGS AND CMU FOUNDATION WALLS (A-120); THE DECK BEARS ON NEW PRECAST PIER FOOTINGS (A-120, A-130). NO EXISTING LOAD-BEARING ELEMENTS ARE REMOVED. EXISTING RIM BOARD / FOUNDATION TO BE FIELD-VERIFIED AT THE 2x10 LEDGER CONNECTION PRIOR TO FRAMING (A-130).
4. THE WORK DOES NOT REDUCE THE EXISTING DWELLING'S LEVEL OF CODE COMPLIANCE AND DOES NOT RENDER ANY EXISTING SYSTEM UNSAFE OR OVERLOADED (**SECTION BO102**). EXISTING MEANS OF EGRESS ARE MAINTAINED; EXISTING SLIDING GLASS DOORS REMAIN IN SERVICE BETWEEN DWELLING AND ADDITION. INTERIOR LEVEL CHANGE PROVIDED WITH BUILT-UP LANDING AND STEP PER 2025 RCNYS **SECTION R311.3** IN THE 2020 EDITION.
5. NEW 32" x 24" OPENING IN EXISTING EXTERIOR WALL: PROVIDE HEADER PER 2025 RCNYS CHAPTER 6 (**SECTION R602.7**) SEE A-100, A-500.
6. ENERGY (**SECTION BO102.13**): THE ADDITION COMPLIES WITH THE 2025 ECCCNYS: SEE ENERGY COMPLIANCE NOTES, THIS SHEET.
7. SMOKE ALARMS PER 2025 RCNYS **SECTION R310**, PROVIDED OR VERIFIED THROUGHOUT THE DWELLING, HARDWIRED AND INTERCONNECTED WHERE REQUIRED. CARBON MONOXIDE ALARMS PER **SECTION R311.1**. COMBINATION SMOKE/CO ALARMS PERMITTED PER **SECTION R310.5**. PROPOSED LOCATION SHOWN ON A-140.
8. SAFETY GLAZING PER 2025 RCNYS SECTION R324 AT GLAZED DOORS DR1 AND DR2 AND AT ALL HAZARDOUS LOCATIONS. WINDOW FALL PROTECTION PER **SECTION R321.2** WHERE APPLICABLE.
9. SOLID-FUEL-BURNING APPLIANCE: DROLET ESCAPE 1200 (MODEL DB03182) WOOD STOVE, LISTED TO UL 1482, EPA 2020 CERTIFIED. INSTALLATION — HEARTH EXTENSION, CLEARANCES TO COMBUSTIBLES, AND CHIMNEY/FLUE — PER MANUFACTURER'S LISTING AND 2025 RCNYS CH. 10. SEE DETAIL (SEE SHEET A-511). APPLIANCE AND FLUE INCLUDED IN THIS PERMIT PER VILLAGE CODE CH. 140.
10. FLOOD HAZARD: PREMISES IS LOCATED IN ZONE X (UNSHADED), OUTSIDE THE SPECIAL FLOOD HAZARD AREA AND THE 0.2% ANNUAL CHANCE FLOOD HAZARD AREA, PER FEMA FIRM PANEL NO. 36087C0181G, EFFECTIVE MARCH 3, 2014. FLOOD-RESISTANT CONSTRUCTION PROVISIONS OF 2025 RCNYS R322 ARE NOT APPLICABLE.
11. EXISTING DETACHED GREENHOUSE (8'-0" x 8'-0", ON GRAVEL, NO PERMANENT FOUNDATION) TO BE LEGALIZED UNDER THIS PERMIT. SEE A-020 AND MANUFACTURER'S LITERATURE.



1 PROPOSED ADDITION TO REAR (WEST ELEVATION)

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18 FRONT ST, NYACK, NEW YORK

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T-001

PROJECT INFORMATION

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ZONING COMPLIANCE TABLE: ACCESSORY STRUCTURES

| STANDARD                                     | REQUIRED                                    | PROPOSED                             |
|----------------------------------------------|---------------------------------------------|--------------------------------------|
| Side/rear lot line setback                   | 3'-0" min                                   | 3'-0"                                |
| Distance from principal building             | 5'-0" min                                   | 15'-2"                               |
| Height                                       | 12'-0" max, 1 story                         | 8'-8" (104")                         |
| Location relative to front facade            | 4'-0" min behind front facade               | 53'-8"                               |
| Location relative to principal building      | Must be to rear of principal building (TFR) | Confirmed to rear                    |
| Coverage (within aggregate 7% accessory max) | 455 SF max (7% of 6,500 SF lot)             | 64 SF (of 279.04 SF accessory total) |

PROPOSED TOTAL COVERAGE BREAKDOWN

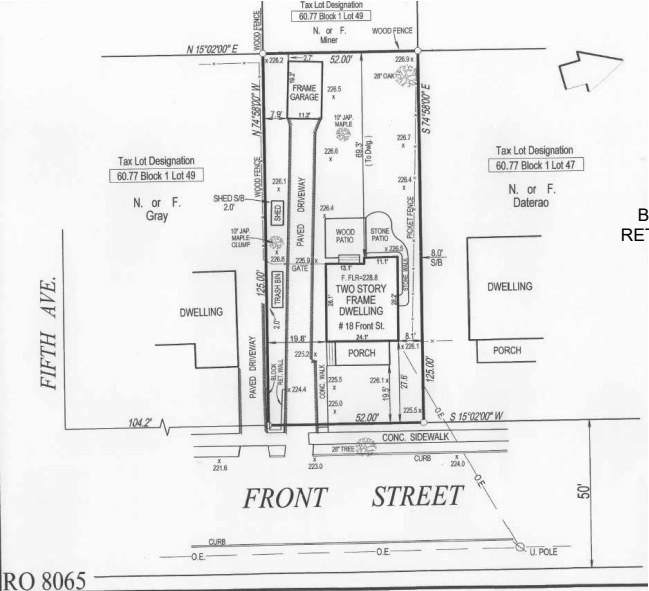
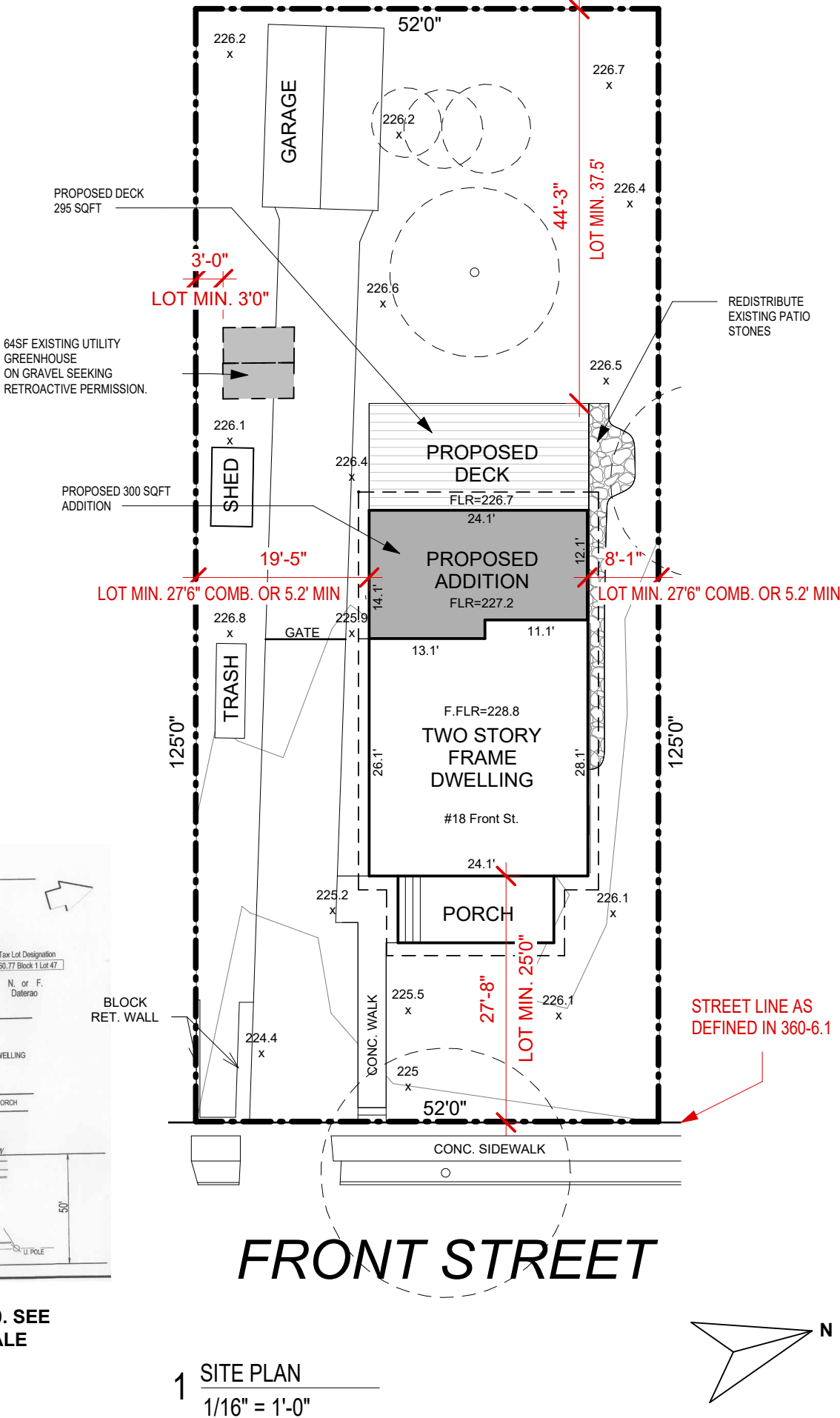
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BUILDING CODE COMPLIANCE

Work shall comply with the 2025 Residential Code of New York State including Appendix BO, Sections BO102 and BO106



SURVEY FROM JUNE 11TH 2020. SEE SHEET S-010 FOR LARGER SCALE

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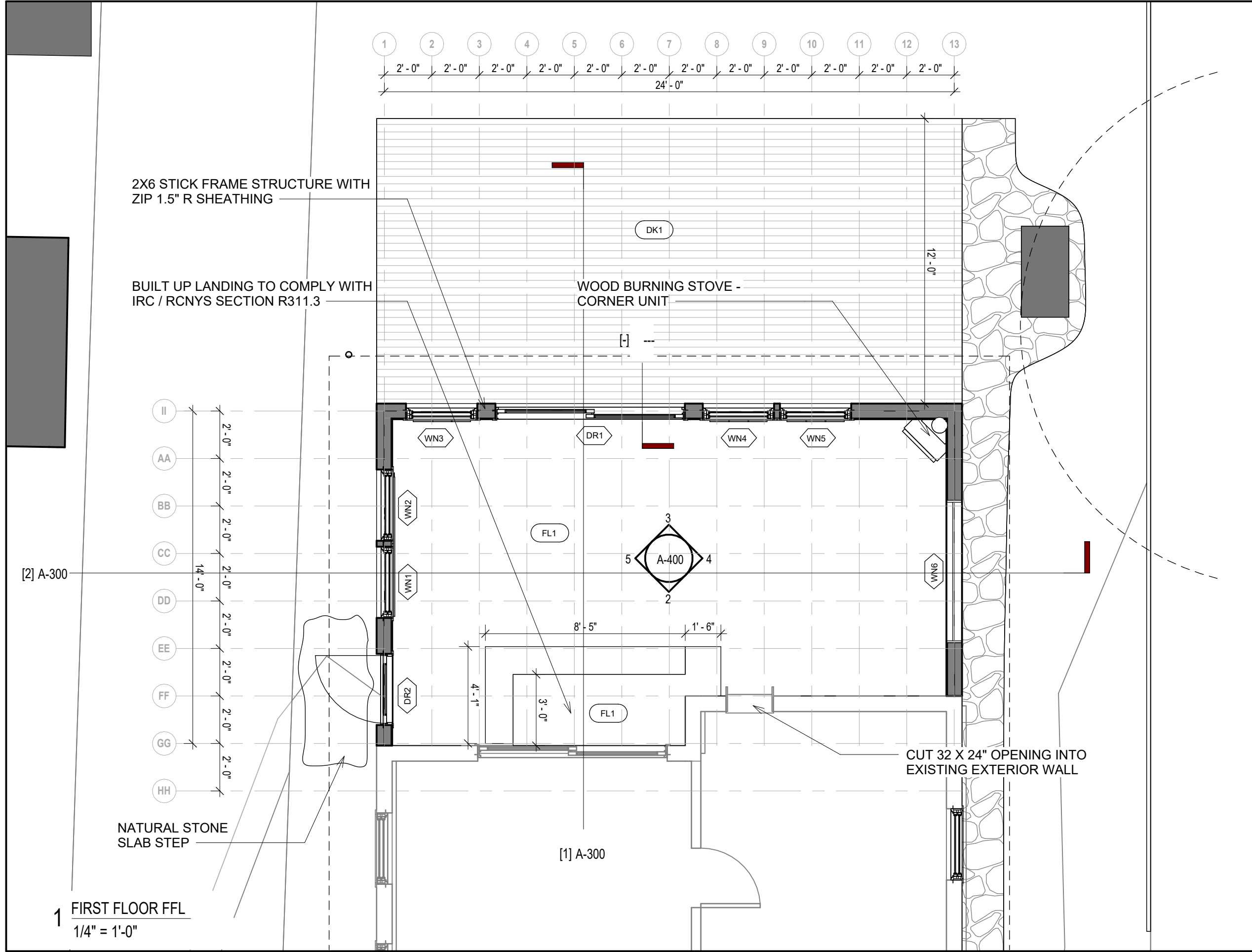
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TITLE: SITE PLAN

18 FRONT ST, NYACK, NEW YORK

A-020



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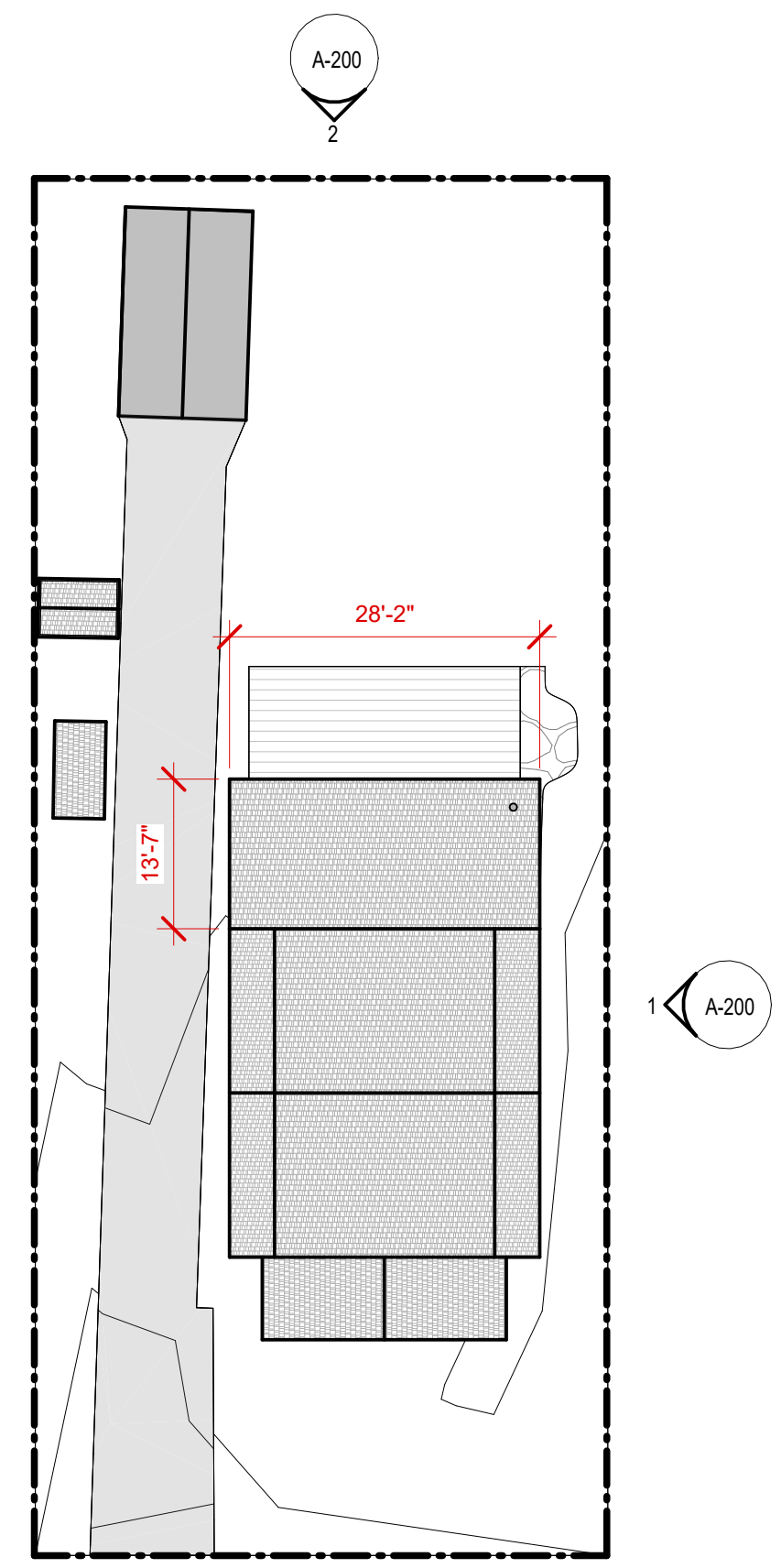
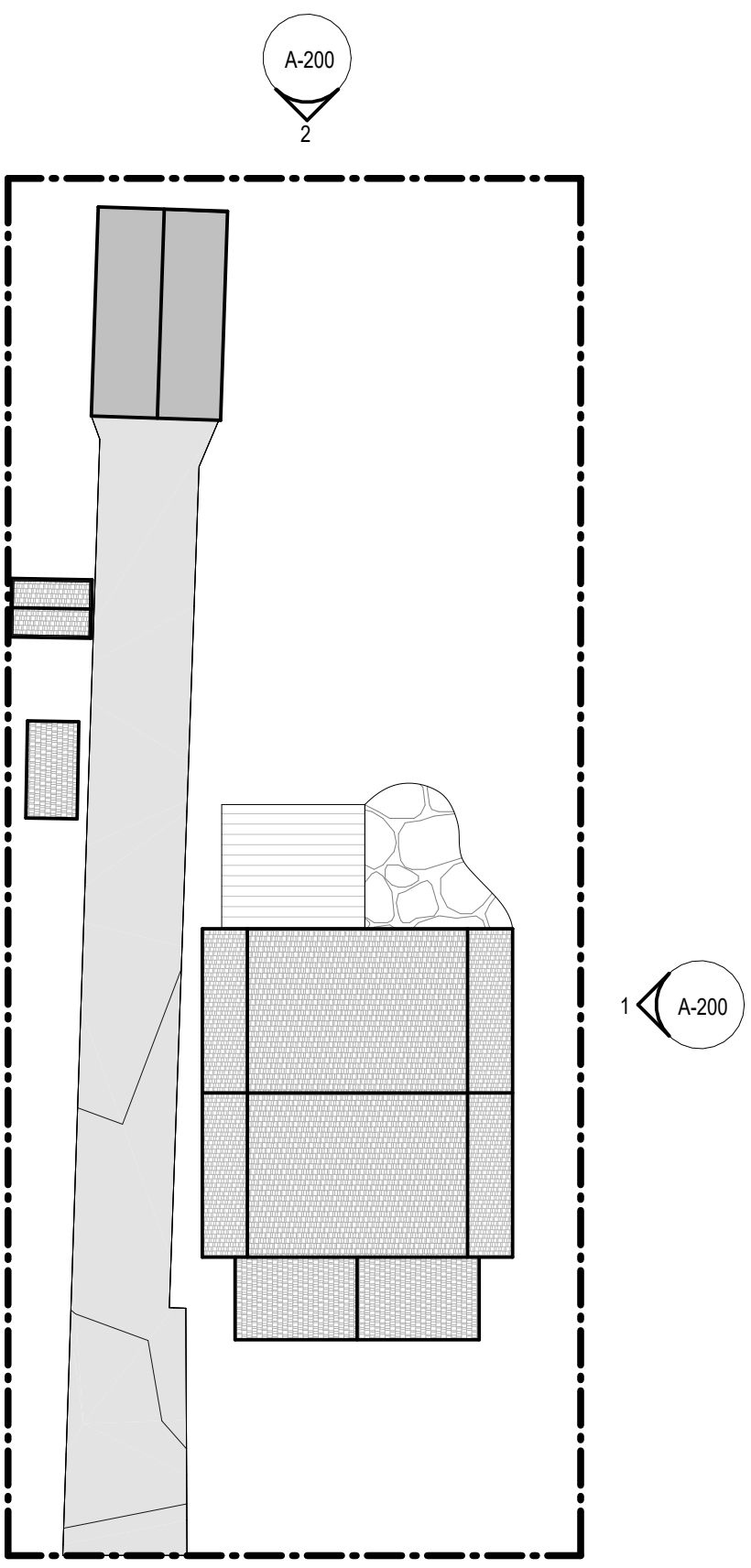
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TITLE: FLOOR PLAN

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A-100



2 ROOF PLAN EXISTING  
1/16" = 1'-0"

1 ROOF PLAN PROPOSED  
1/16" = 1'-0"

TITLE: ROOF PLAN - EXISTING & PROPOSED

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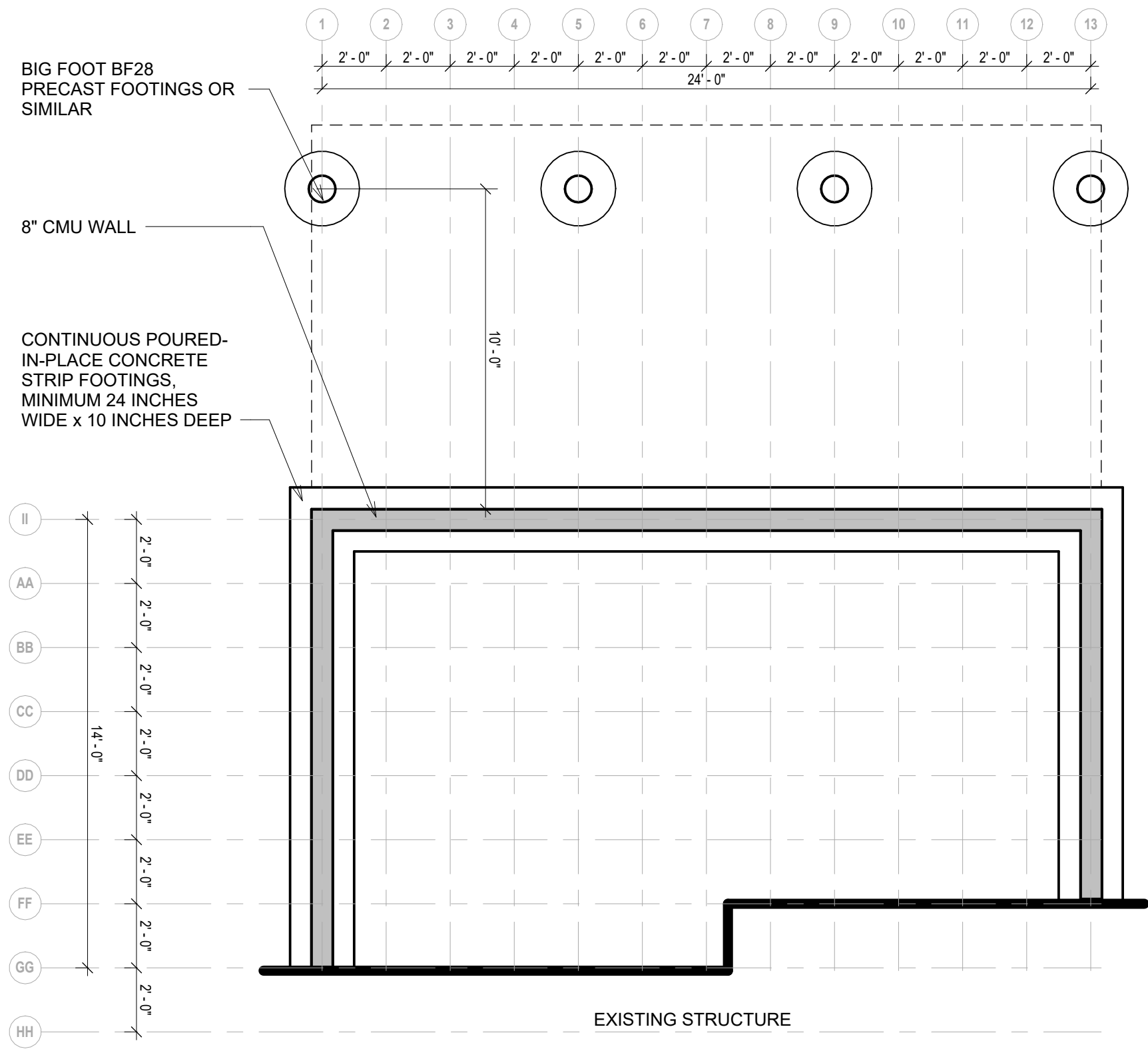


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A-110



1 FOUNDATION PLAN  
1/4" = 1'-0"

NOTES

- 1. PRIMARY FOUNDATION**
- BEARING CAPACITY: 1,500 PSF MINIMUM ALLOWABLE SOIL BEARING CAPACITY. BEAR ON UNDISTURBED VIRGIN SOIL OR ENGINEERED FILL.
- FROST DEPTH: BOTTOM OF FOOTING TO BE A MINIMUM OF 42" BELOW FINISHED EXTERIOR GRADE.
- 2. CONCRETE & DIMENSIONS:**
- STRENGTH: 3,000 PSI MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS.
- SIZE: 24" WIDE X 10" DEEP CONTINUOUS STRIP FOOTING.
- PLACEMENT: CENTER 8" CMU WALL ON FOOTING TO PROVIDE 8" PROJECTION ON BOTH SIDES.
- 3. REINFORCEMENT:**
- HORIZONTAL: (3) #4 CONTINUOUS HORIZONTAL REINFORCING BARS. PROVIDE 3" MINIMUM CLEAR COVER FROM EARTH. MINIMUM LAP SPLICE: 24".
- VERTICAL (CMU DOWELS): #4 VERTICAL REBAR WITH STANDARD 90-DEGREE HOOK AT BOTTOM. SPACE AT 48" O.C. MAXIMUM (COORDINATE LAYOUT WITH CMU CORES). CENTER IN WALL. DOWELS TO PROJECT A MINIMUM OF 24" ABOVE TOP OF FOOTING.
- 4. MASONRY (CMU):**
- UNITS: HOLLOW LOAD-BEARING CONCRETE MASONRY UNITS COMPLYING WITH ASTM C90. NORMAL WEIGHT.
- MORTAR: ASTM C270, TYPE S (PROPORTIONED FOR BELOW-GRADE/FOUNDATION USE).
- GROUT: ASTM C476, MINIMUM 2,000 PSI COMPRESSIVE STRENGTH. GROUT SOLID ALL CELLS CONTAINING VERTICAL REINFORCEMENT AND THE ENTIRE CONTINUOUS TOP COURSE.
- TOP COURSE & ANCHORAGE: PROVIDE A SOLID-GROUTED TOP BOND BEAM COURSE. EMBED 1/2" DIA. X 10" GALVANIZED ANCHOR BOLTS A MINIMUM OF 7" INTO THE GROUT. SPACE BOLTS AT 6'-0" O.C. MAXIMUM AND WITHIN 12" OF ALL CORNERS AND PLATE SPLICES.
- MOISTURE PROTECTION: APPLY CONTINUOUS BITUMINOUS DAMP-PROOFING TO THE EXTERIOR FACE OF THE CMU WALL FROM THE TOP OF THE FOOTING TO THE FINISHED EXTERIOR GRADE LINE.
- 5. DECK FOOTINGS:**
- SYSTEM: PREFABRICATED BELL FOOTING FORM (BIGFOOT BF28 OR APPROVED EQUAL) WITH 10" DIAMETER CYLINDRICAL PIER. POUR MONOLITHICALLY.
- BEARING & DEPTH: BEAR ON UNDISTURBED VIRGIN SOIL. BOTTOM OF FOOTING TO BE A MINIMUM OF 42" BELOW FINISHED EXTERIOR GRADE.
- REINFORCEMENT: PROVIDE (2) #4 VERTICAL REINFORCING BARS PER PIER. MAINTAIN 3" MINIMUM CLEAR COVER FROM EARTH.
- POST CONNECTION: PROVIDE SIMPSON STRONG-TIE ABA66Z (OR APPROVED EQUAL) STRUCTURAL STANDOFF POST BASE. ANCHOR TO CONCRETE WITH 1/2" DIA. X 10" CAST-IN-PLACE ANCHOR BOLT. MAINTAIN 1" MINIMUM CLEARANCE BETWEEN PT WOOD POST AND CONCRETE SURFACE.

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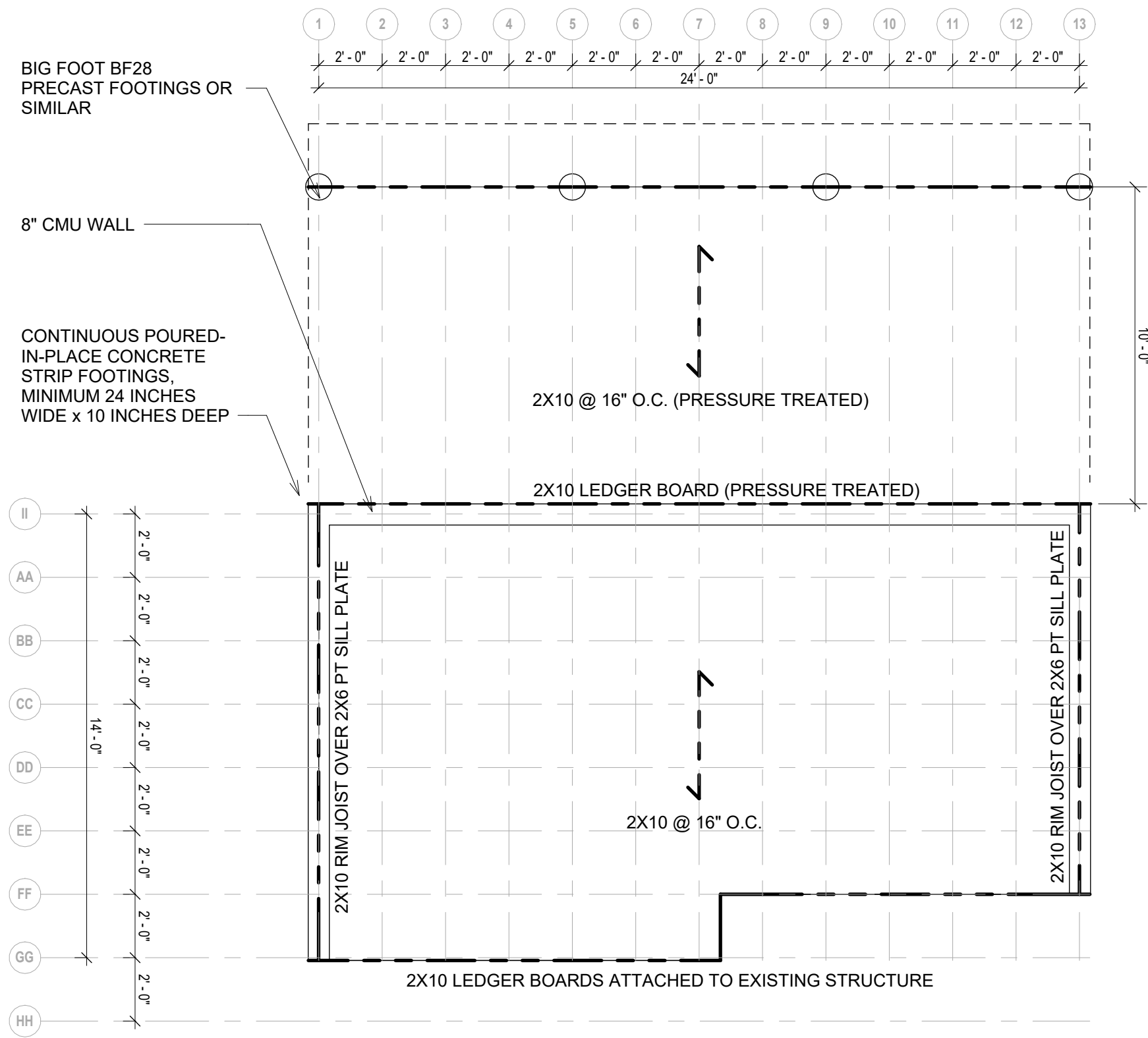
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TITLE: FOUNDATION PLAN

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A-120



1 FLOOR AND DECK FRAMING PLAN  
1/4" = 1'-0"

NOTES

- 1. FIRST FLOOR FRAMING (ADDITION)**  
SILL PLATE: PROVIDE 2X6 PRESERVATIVE-TREATED (PT) SILL PLATE OVER CONTINUOUS CLOSED-CELL FOAM SILL SEALER.  
  
FLOOR JOISTS: PROVIDE 2X10 SPF OR DF-L (#2 OR BETTER) AT 16" O.C. PROVIDE SOLID 2X10 BLOCKING OR 1X3 WOOD CROSS-BRIDGING AT MID-SPAN.  
  
SUBFLOOR: 3/4" (23/32" NOMINAL) TONGUE & GROOVE (T&G) APA-RATED WOOD STRUCTURAL PANEL. INSTALL PERPENDICULAR TO JOISTS. GLUE AND MECHANICALLY FASTEN PER CODE.  
  
CONNECTION TO EXISTING: PROVIDE 2X10 LEDGER SECURELY FASTENED TO EXISTING STRUCTURE'S FOUNDATION/RIM BOARD. ENGINEER/ARCHITECT TO VERIFY EXISTING CONDITIONS. SUPPORT NEW JOISTS AT LEDGER WITH SIMPSON STRONG-TIE LU210 (OR APPROVED EQUAL) FACE-MOUNT HANGERS.
- 2. NEW DECK FRAMING**  
  
LUMBER & HARDWARE: ALL EXTERIOR FRAMING TO BE PRESERVATIVE-TREATED (PT) SOUTHERN YELLOW PINE (SYP) #2 OR BETTER. ALL HARDWARE AND FASTENERS TO BE HOT-DIPPED GALVANIZED (HDG) OR STAINLESS STEEL.  
  
LEDGER BOARD: 2X10 PT LEDGER POSITIVELY ATTACHED TO ADDITION BAND JOIST. FASTEN WITH 1/2" HDG LAG SCREWS STAGGERED AT 15" O.C. PER IRC TABLE R507.9.1.3(1). PROVIDE CONTINUOUS METALLIC OR MEMBRANE FLASHING OVER LEDGER.  
  
DECK JOISTS: PROVIDE 2X10 PT JOISTS AT 16" O.C. SUPPORT AT LEDGER WITH SIMPSON STRONG-TIE LUS210Z JOISTS HANGERS. MAXIMUM JOIST SPAN: 10'-0". MAXIMUM CANTILEVER PAST BEAM: 2'-4".  
  
DROP BEAM: PROVIDE BUILT-UP DROP BEAM CONSISTING OF (2) 2X12 PT LUMBER. SPLICE JOINTS ONLY OVER POST SUPPORTS.  
  
BEAM-TO-POST CONNECTION: ATTACH BEAM TO 6X6 PT POSTS USING SIMPSON STRONG-TIE LPC6Z POST CAPS (OR APPROVED EQUAL). SECURE DECK JOISTS TO BEAM WITH SIMPSON H1Z HURRICANE TIES AT EVERY INTERSECTION.  
  
DECKING: 5/4X6 PT WOOD OR 1" NOMINAL COMPOSITE DECKING INSTALLED PERPENDICULAR TO JOISTS.
- 3. DECK LATERAL TENSION TIES**  
  
LATERAL RESTRAINT: PER IRC SECTION R507.9.2, THE DECK MUST BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST LATERAL PULL-AWAY FORCES.  
  
HARDWARE: PROVIDE A MINIMUM OF (2) HOLD-DOWN TENSION DEVICES (E.G., SIMPSON STRONG-TIE DTT1Z OR DTT2Z) INSTALLED AT EACH END OF THE DECK.  
  
CAPACITY & ATTACHMENT: EACH DEVICE MUST HAVE AN ALLOWABLE DESIGN CAPACITY OF NOT LESS THAN 1,500 LBS. FASTEN DECK JOIST DIRECTLY TO THE INTERIOR FLOOR JOIST OF THE ADDITION.

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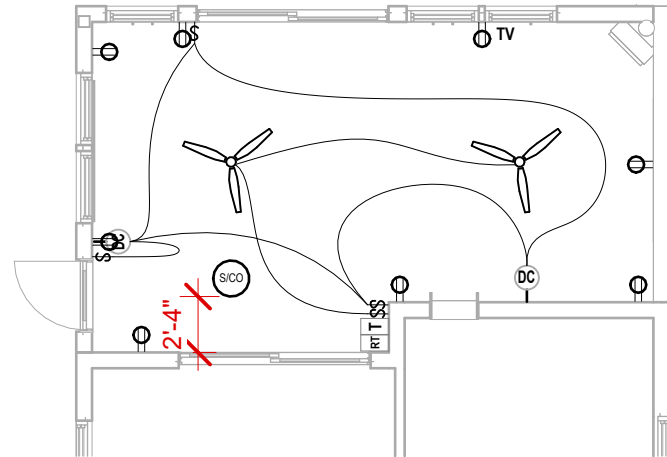
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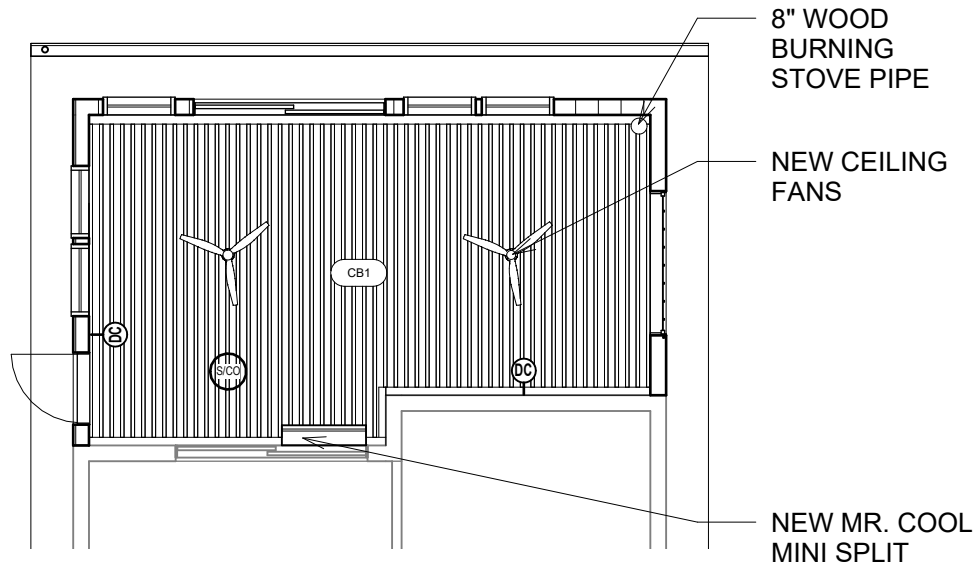
A-130



1 OUTLET & SWITCHING PLAN  
1/8" = 1'-0"

|                                                                                     |                                                       |
|-------------------------------------------------------------------------------------|-------------------------------------------------------|
|  | COMBINATION SMOKE DETECTOR & CARBON MONOXIDE ALARM    |
|  | SWITCH                                                |
|  | 120V RECEPTACLE                                       |
|  | SCONCE                                                |
|  | TV                                                    |
|  | THERMOSTAT FOR HVAC SYSTEM                            |
|  | THERMOSTAT FOR ELECTRIC MATT RADIANT HEATING IN FLOOR |

**NOTE:** COMBINATION SMOKE/CO ALARM PROVIDED HARDWIRED WITH NEW BACKUP BATTERY. PERMITTED PER **SECTION R310.5**



2 REFLECTED CEILING PLAN  
1/8" = 1'-0"

TITLE: ELECTRICAL PLANS

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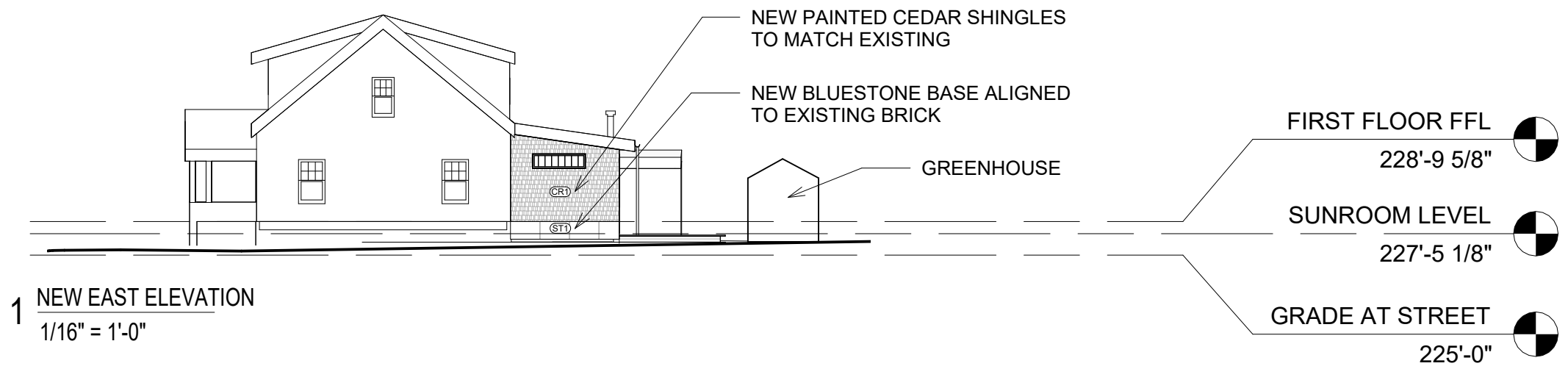
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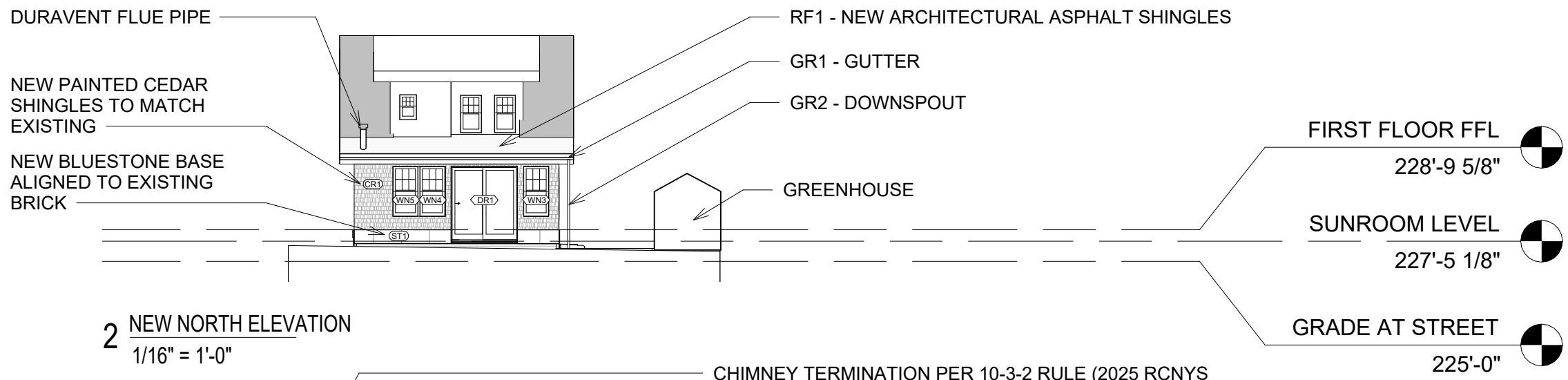
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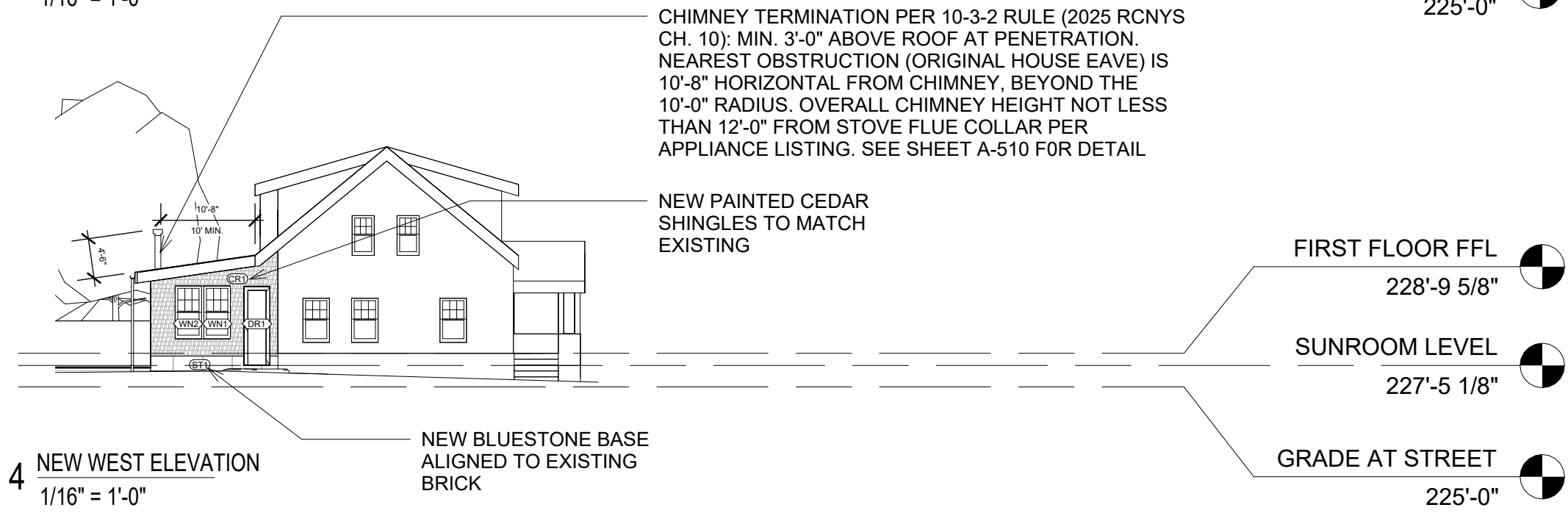
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1 NEW EAST ELEVATION  
1/16" = 1'-0"



2 NEW NORTH ELEVATION  
1/16" = 1'-0"



4 NEW WEST ELEVATION  
1/16" = 1'-0"

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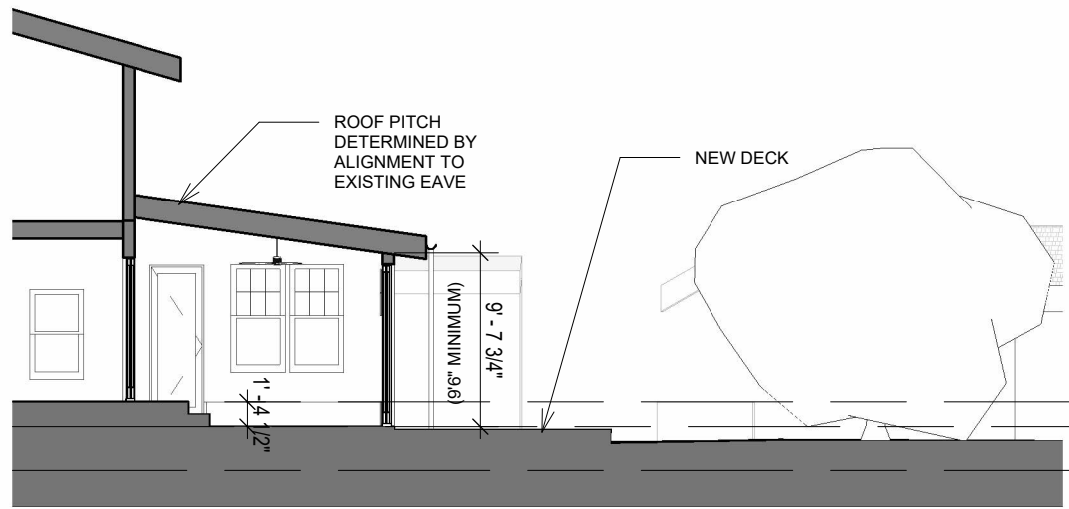
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A-200



1 SECTION AA  
3/32" = 1'-0"

FIRST FLOOR FFL  
228'-9 5/8"

SUNROOM LEVEL  
227'-5 1/8"

GRADE AT STREET  
225'-0"



2 SECTION BB  
3/32" = 1'-0"

FIRST FLOOR FFL  
228'-9 5/8"

SUNROOM LEVEL  
227'-5 1/8"

GRADE AT STREET  
225'-0"

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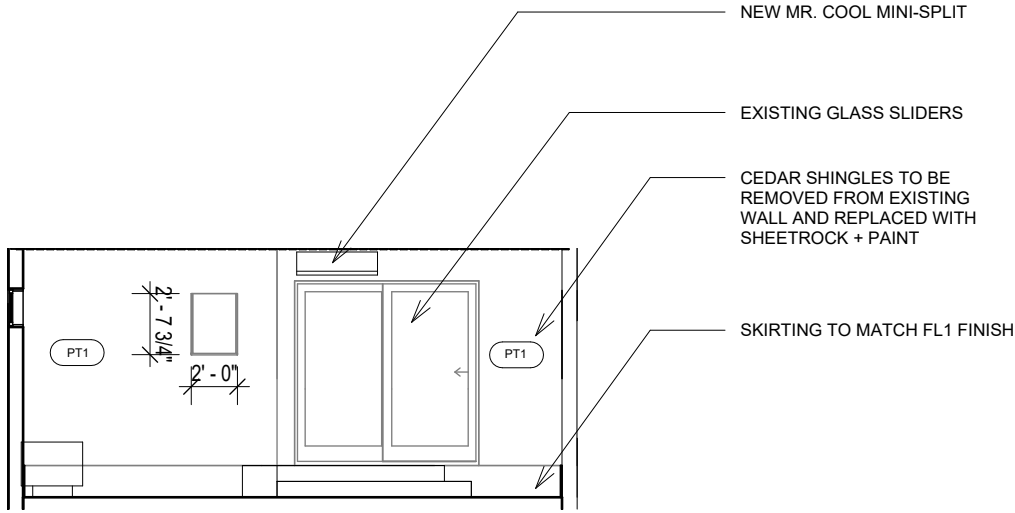
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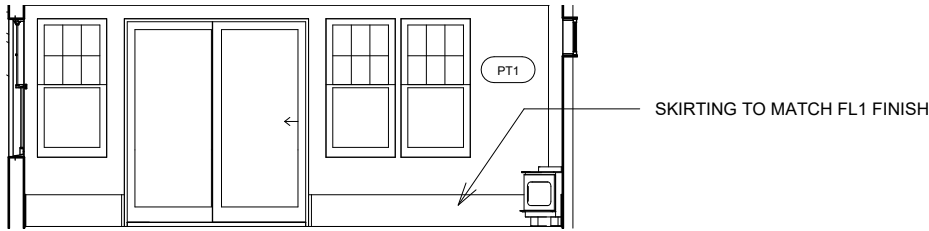
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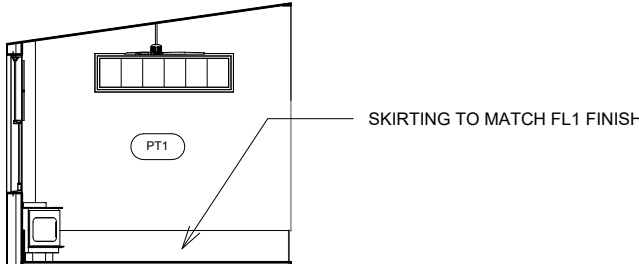
A-300



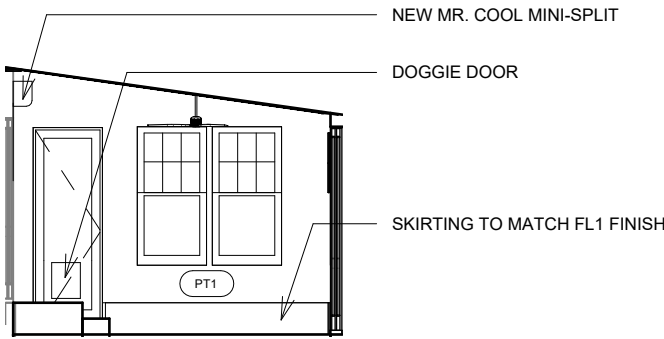
2 INTERIOR ELEVATION 1  
1 : 100



3 INTERIOR ELEVATION 3  
1 : 100



4 INTERIOR ELEVATION 2  
1 : 100



5 INTERIOR ELEVATION 4  
1 : 100

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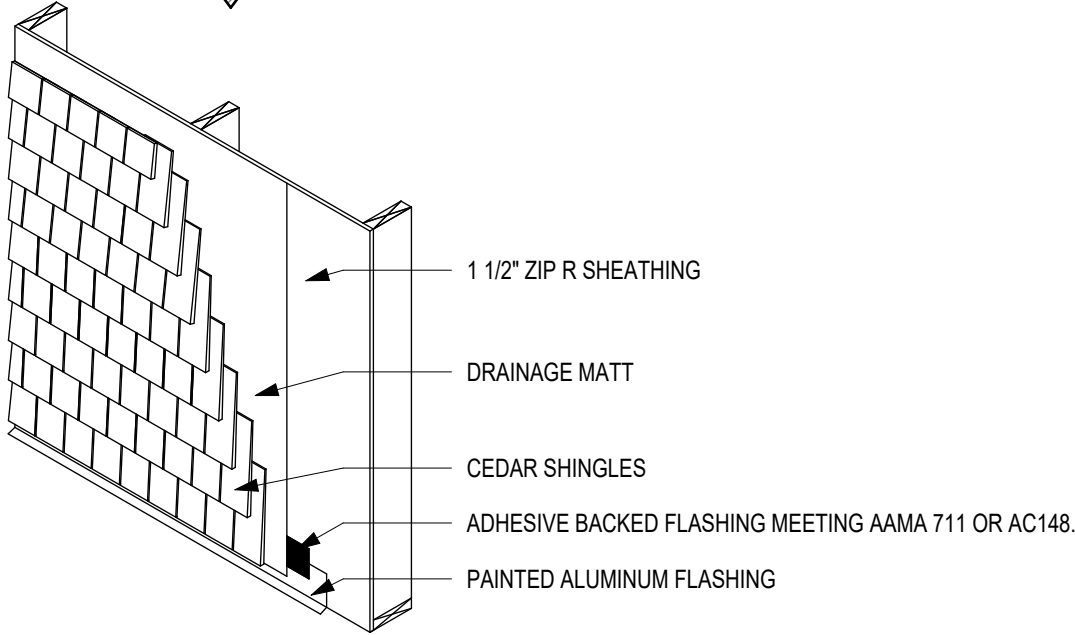
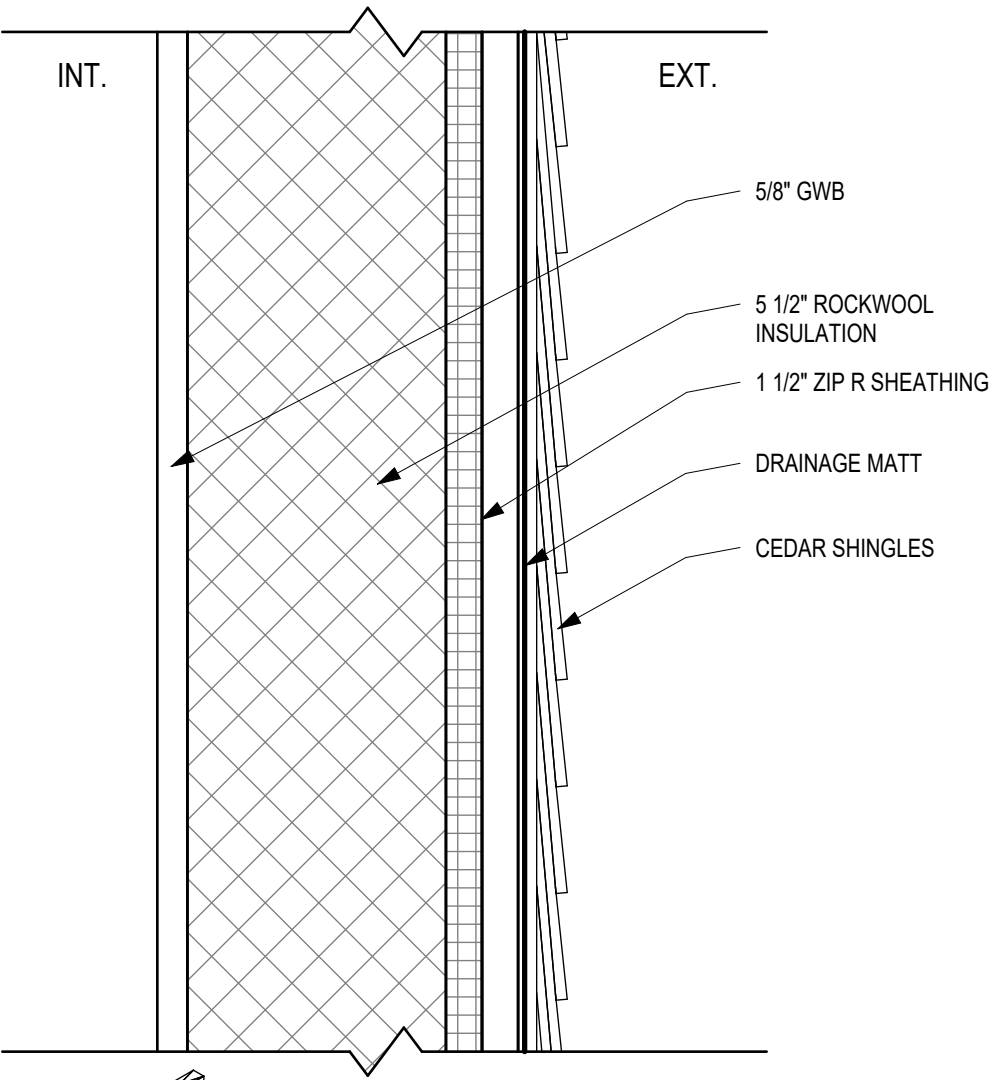
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TITLE: INTERIOR ELEVATIONS

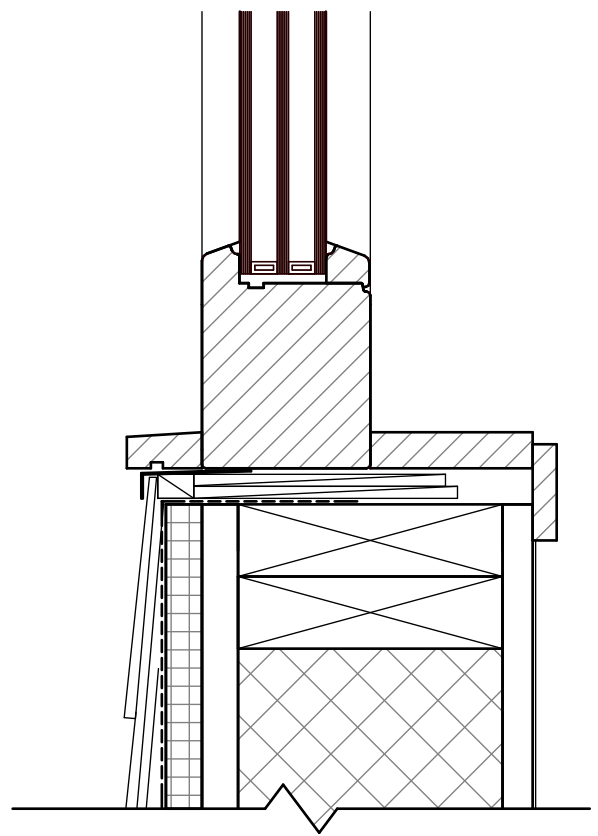
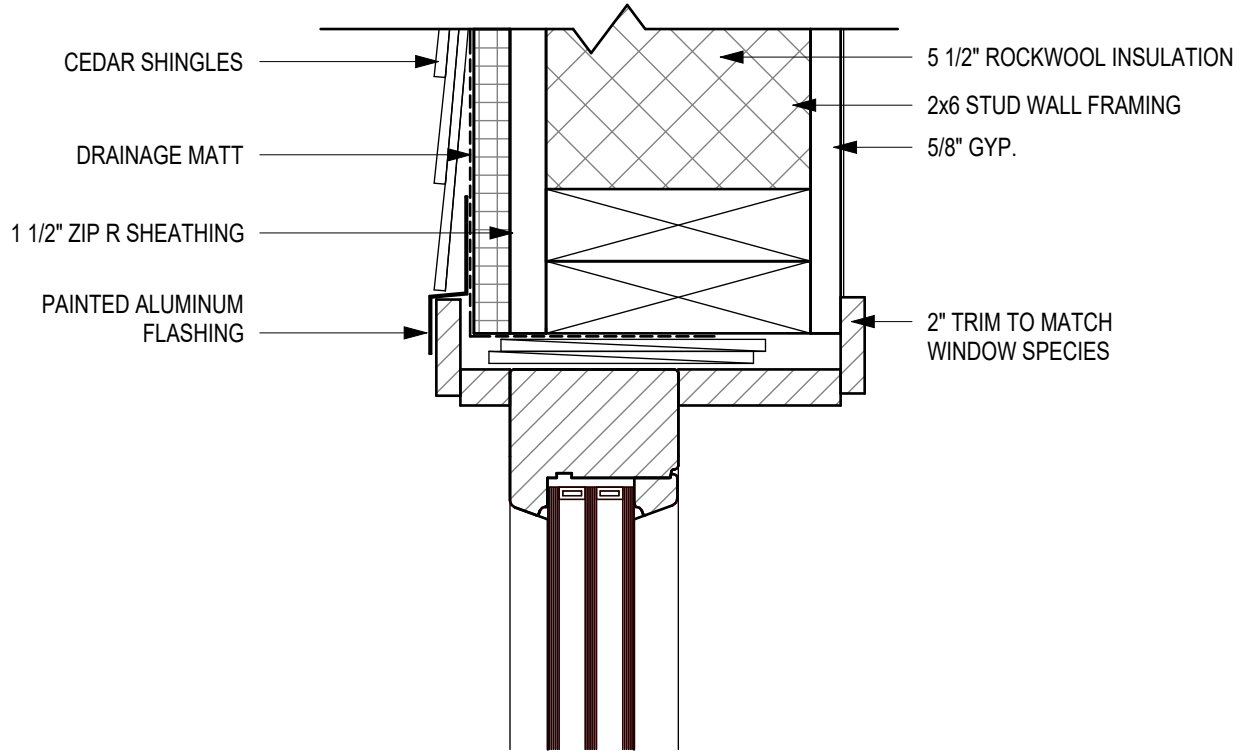
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A-400



2 CEDAR SHINGLES ASSEMBLY  
1/2" = 1'-0"



1 TYPICAL WINDOW DETAIL  
3" = 1'-0"

TITLE: BUILDING DETAILS

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A-500



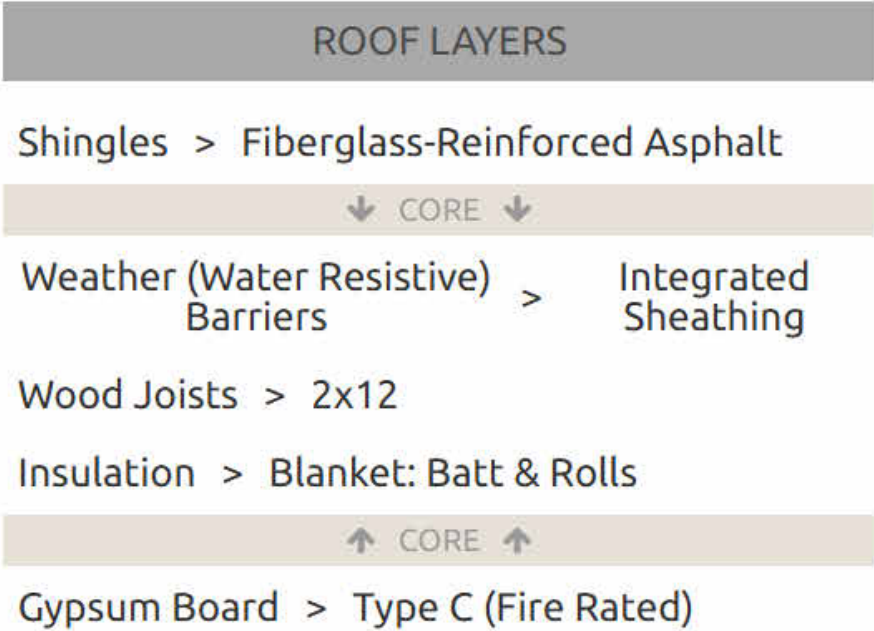
|             |                                                |
|-------------|------------------------------------------------|
| Brand       | Huber Engineered Woods                         |
| Name        | ZIP System - Wood 2x12's with Asphalt Shingles |
| Orientation | Roof                                           |

CONTRACTOR TO PROVIDE 1" MIN. CLEAR AIR SPACE BETWEEN TOP OF INSULATION AND UNDERSIDE OF ROOF DECK VIA CONTINUOUS BAFFLES. PROVIDE CONTINUOUS SOFFIT AND RIDGE VENTILATION PER 2025 ECCCCNYS

FLOOR CAVITY:

2X10 JOISTS CAVITY TO BE FILLED WITH R-30 FIBERGLASS BATTS

1- ROOF ASSEMBLY - NTS



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A-510

|          | TAG / CALLOUT | WINDOWS & DOORS                           | SIZE              | QUANTITY / AREA | FINISH                                         | NOTES                                             |
|----------|---------------|-------------------------------------------|-------------------|-----------------|------------------------------------------------|---------------------------------------------------|
|          | DR1           | ANDERSEN E SERIES GLIDING DOOR            | H - 108" W - 96"  | (1)             | OAK INTERIOR/<br>ALUMINUM - TERRATONE EXTERIOR |                                                   |
|          | DR2           | ANDERSEN E SERIES HINGED PATIO DOOR       | H - 108" W - 36"  | (1)             | OAK INTERIOR/<br>ALUMINUM - TERRATONE EXTERIOR |                                                   |
|          | WN1-5         | ANDERSEN E SERIES WINDOW                  | H - 72" W - 36"   | (5)             | OAK INTERIOR/<br>ALUMINUM - TERRATONE EXTERIOR | NO GLASS    --    DOGGIE DOOR TO BE CUT INTO BASE |
|          | WN6           | ANDERSEN FIXED WINDOW                     | H - 20" W - 72"   | (1)             | OAK INTERIOR/<br>ALUMINUM - TERRATONE EXTERIOR | GRID ON UPPER SASH TO MATCH EXISTING WINDOWS      |
|          |               |                                           |                   |                 |                                                |                                                   |
|          | TAG / CALLOUT | FINISHES                                  | SIZE              | QUANTITY / AREA | FINISH                                         | NOTES                                             |
|          | RF1           | ARCHITECTURAL ASPHALT SHINGLES            | STANDARD          | 370 SQFT        | TO MATCH EXISTING                              | UNDERLAYMENT FELT OR SYNTHETIC PER LOCAL CODE     |
|          | CB1           | 2X4 T&G OAK CEILING BOARDS                | 2 x 4"            | 290 SQFT        | WATER BASED POLY                               | SINGLE PLANK RUNS END TO END, NO JOINTS           |
|          | PT1           | BENJAMIN MOORE PAINT                      | N/A               | 500 SQFT        | OC-17                                          |                                                   |
|          | MW1           | CUSTOM OAK SILL & SHUTTERS                | 32 x 24"          |                 | WATER BASED POLY                               | OPENING IN EXISTING EXTERIOR WALL                 |
| OPTION A | FL1           | SLATE FLOOR TILES                         | 24 x 12"          |                 | CLEAR SEALER                                   |                                                   |
| OPTION B | FL1           | ENGINEERED WHITE OAK FLOORING T&G         | 10" WIDE PLANKS   |                 | WATER BASED POLY                               |                                                   |
|          |               |                                           |                   |                 |                                                |                                                   |
|          | TAG / CALLOUT | EQUIPMENT                                 | SIZE              | QUANTITY / AREA | FINISH                                         | NOTES                                             |
|          | MS1           | MINI-SPLIT & NECESSARY CONDENSOR          | TO MATCH EXISTING | (1)             |                                                | TO MATCH EXISTING                                 |
|          | STV1          | WOOD BURNING STOVE & STOVE PIPE           | TBD               | TBD             | TBD                                            | TBD                                               |
|          | EM1           | SCHLUTER ELECTRIC MAT UNDERFLOOR HEATING  | N/A               | 300 SQFT        | N/A                                            | SCHLUTER DITRA-HEAT-E 240V                        |
|          |               |                                           |                   |                 |                                                |                                                   |
|          |               |                                           |                   |                 |                                                |                                                   |
|          |               |                                           |                   |                 |                                                |                                                   |
|          | TAG / CALLOUT | EXTERIOR                                  | SIZE              | QUANTITY / AREA | FINISH                                         | NOTES                                             |
|          | DK1           | LUNA WOOD ASH DECKING                     | 5/4" x 4"         | 300 SQFT        | UV - SEALER - CLEAR                            |                                                   |
|          | GR1           | HALF ROUND ALUMINUM GUTTERS               | 28' L             | (1)             | BRONZE                                         | 5" HALF-ROUND ALUMINUM - BRONZE FINISH            |
|          | GR2           | ROUND ALUMINUM DOWNSPOUT                  | 10' L             | (1)             | BRONZE                                         | 3" ROUND ALUMINUM - BRONZE FINISH                 |
|          | FS1           | ALUMINUM FLASHING                         | N/A               | N/A             | BRONZE                                         | PAINTED ALUMINUM - BRONZE FINISH TO MATCH         |
|          | CR1           | CEDAR SHINGLES, PAINTED TO MATCH EXISTING | MATCH EXISTING    | 260 SQFT        | PAINTED                                        |                                                   |
|          | ST1           | BLUE STONE PAVERS                         | 24 x 24"          | 75 SQFT         | NONE                                           | ALIGNED TO BRICK BASE AROUND REST OF HOUSE        |
|          |               |                                           |                   |                 |                                                |                                                   |
|          | TAG / CALLOUT | ELECTRICAL                                | SIZE              | QUANTITY / AREA | FINISH                                         | NOTES                                             |
|          | EL1           | CEILING FANS                              | TBD               | (2)             | (TBD)                                          |                                                   |
|          | EL2           | SCONCES                                   | TBD               | (TBD)           | (TBD)                                          |                                                   |
|          | EL3           | OUTLETS -                LUTRON DITRA     | STANDARD          | (TBD)           | (TBD)                                          |                                                   |
|          | EL4           | SWITCHES -                LUTRON DITRA    | STANDARD          | (TBD)           | (TBD)                                          |                                                   |

TITLE: SCHEDULES

18 FRONT ST, NYACK, NEW YORK

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REGISTERED ARCHITECT

ANTHONY D. MCGINN

046885

STATE OF NEW YORK



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A-600

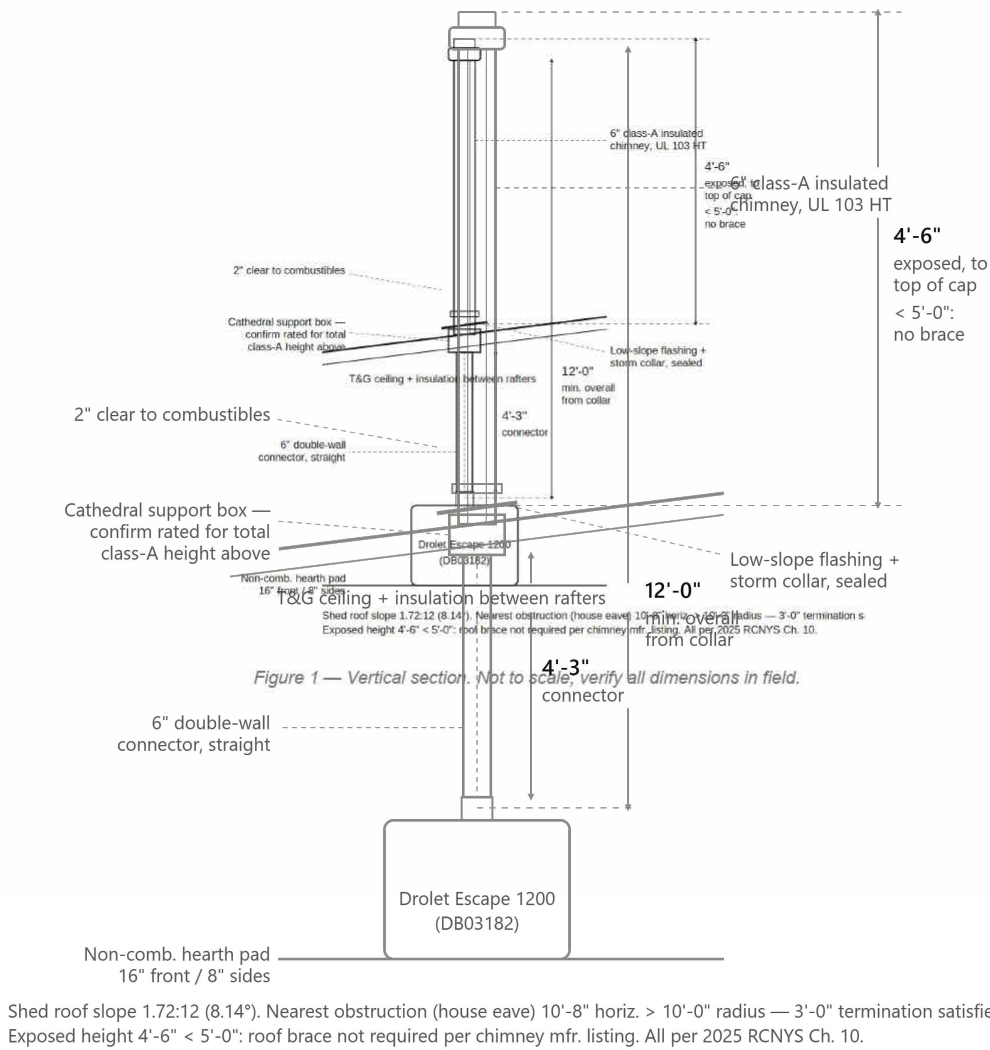
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CONSTRUCTION DETAIL — SOLID-FUEL-BURNING APPLIANCE

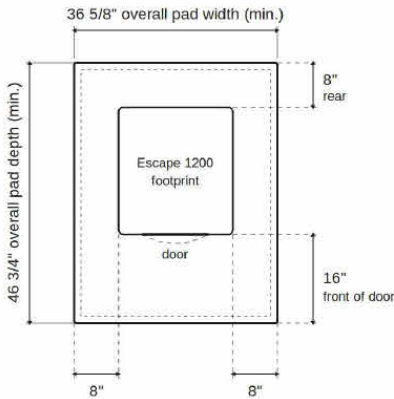
Appliance & venting specification

|                  |                                                                                |
|------------------|--------------------------------------------------------------------------------|
| Appliance        | Drolet Escape 1200 (model DB03182), cast-iron-fronted steel wood stove         |
| Listing          | EPA 2020 cordwood certified; UL 1482, UL 737, ULC S627                         |
| Rated area       | 250–1,200 sq ft; firebox 1.8 cu ft; max output 45,000 BTU/h                    |
| Flue outlet      | 6" dia., top exit                                                              |
| Connector        | 6" dia. double-wall, straight vertical, no offsets 4'-3" collar to support box |
| Chimney          | 6" class-A insulated, UL 103 HT (2100°F); min. height 12'-0" from flue collar  |
| Clearances       | Double-wall connector: rear 6", side 18", corner 7"                            |
| Roof penetration | Min. 2" clearance to combustibles; cathedral support box at rafters            |
| Termination      | Min. 3'-0" above roof; nearest obstruction (house eave) 10'-8" > 10'-0" radius |
| Exposed height   | 4'-6" to top of cap under 5'-0"; roof brace not required                       |
| Hearth           | Continuous non-combustible: 16" front of door, 8" each side, 8" rear           |

Detail 1 — Chimney section through low-slope shed roof



1- STOVE PIPE - NTS



Stove footprint 20 5/8" W x 22 3/4" D. Floor protection per Drolet Escape 1200 listing: 16" in front of door opening, 8" each side, 8" rear. No R-value required. Continuous non-combustible material (steel min. 0.015", or sealed ceramic tile / cement board / brick over continuous non-combustible sheet). Per 2025 RCNYS Ch. 10. Pad dimensions are minimums — actual pad may be larger; dimension the pad as drawn.

Figure 2 — Hearth pad plan. Dimensions are minimums per listing.

Installation notes

1. Install per the Drolet Escape 1200 installation manual (46242\_IA) and the 2025 Residential Code of New York State, Chapter 10. Where the manual and code differ, the more restrictive governs.
2. Connector to be 6" double-wall, straight vertical from the stove top collar to the cathedral support box no elbows or offsets. Maintain listed double-wall clearances: 6" rear, 18" side, 7" corner.
3. Chimney to be 6" class-A insulated, listed to UL 103 HT (2100°F). Maintain min. 2" air space to all combustibles (T&G ceiling, rafters, insulation, sheathing) continuously through the assembly. Hold insulation back from chimney.
4. Termination: min. 3'-0" above the roof at penetration and min. 2'-0" above any obstruction within 10'-0". Nearest obstruction (original house eave) is 10'-8" horizontal — beyond the 10'-0" radius — so the 3'-0" minimum governs. Overall height not less than 12'-0" from the stove flue collar.
5. Exposed chimney above roof is 4'-6" to top of cap, under the 5'-0" threshold; roof brace not required per chimney manufacturer's listing. Provide brace if exposed height increases or as required by site wind exposure.
6. Cathedral support box to be rated to carry the full class-A chimney height above it
7. Hearth pad: continuous non-combustible material (steel min. 0.015", or sealed ceramic tile / cement board / brick over a continuous non-combustible sheet). No R-value required. Extend 16" in front of the door opening, 8" each side, 8" rear.
8. Provide combustion air per RCNYS; optional Drolet fresh-air intake kit available.
9. Appliance and flue are included in this permit per Village Code Ch. 140.

2- STOVE HEARTH - NTS

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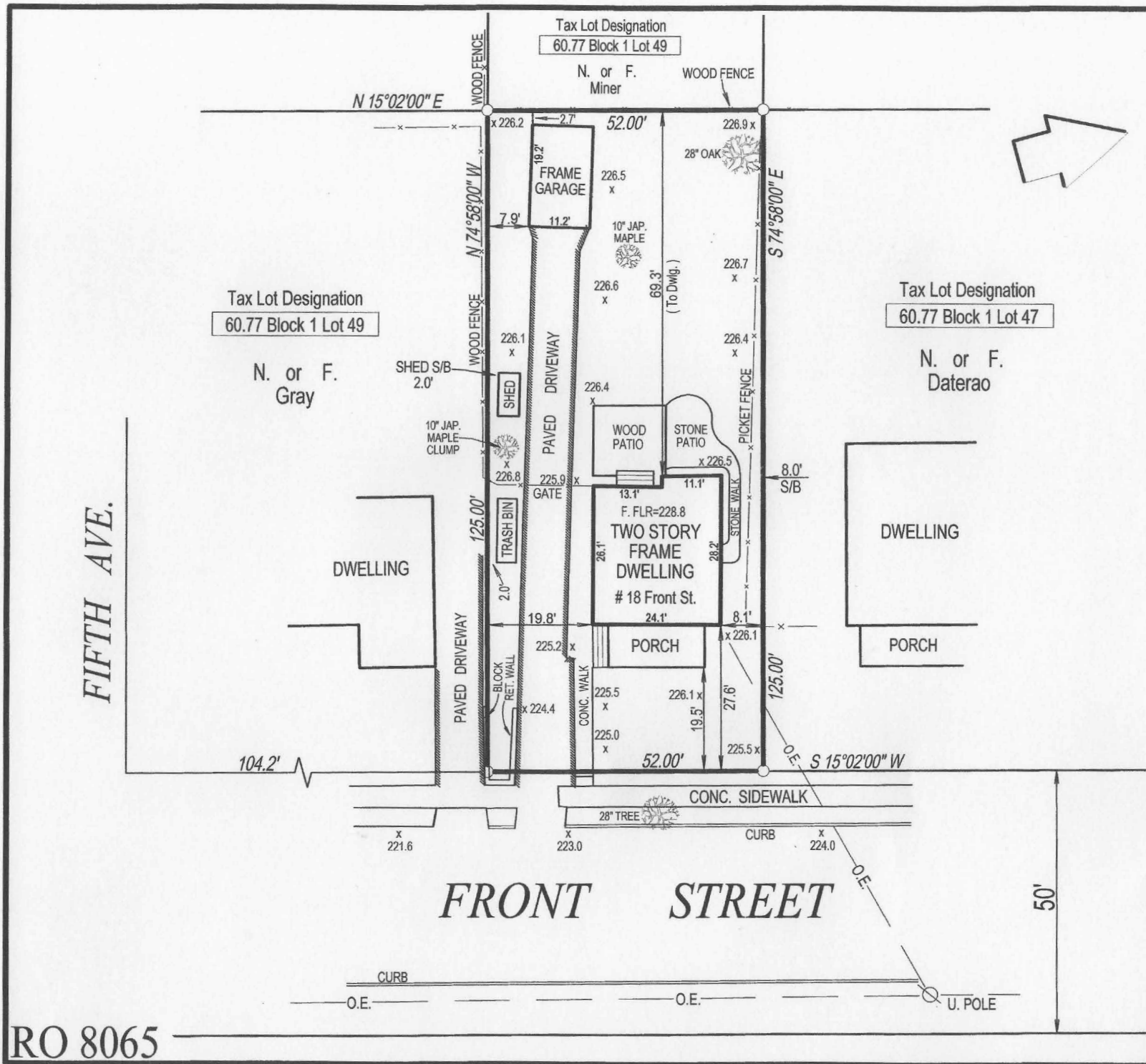
Signature of Anthony D. McGinn

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TITLE: BUILDING DETAILS

18 FRONT ST, NYACK, NEW YORK

A-511



RO 8065

SITE SURVEY BY OTHERS

Land Survey  
For  
**Laurie E. Donald**  
Village of Nyack  
Town of Orangetown      Rockland County, NY  
Scale: 1" = 20'      Area = 0.15 Ac.  
6,500 sf  
June 11, 2020

Tax Lot Desig.: Section 60.77 Block 1 Lot 48

Reference: map entitled "MAP OF TILLOU ESTATES", Filed in the Rockland County Clerks Office November 29, 1911 in book 34 page 767 as map # 951. ( Being Lot # 28 ).

Certified to:  
\* Laurie E. Donald

Certifications indicated hereon signify that this survey was prepared in accordance with the existing code of practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors. Said certification shall run only to the person for whom the survey is prepared, and on behalf to the title company, governmental agency and lending institution listed hereon, and to the assignees of the lending institution. Certifications are not transferable to additional institutions or subsequent owners."

**Robert E. Sorace, PLS**  
135 South Main Street  
New City, NY 10956  
845-638-1498

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**S-010**