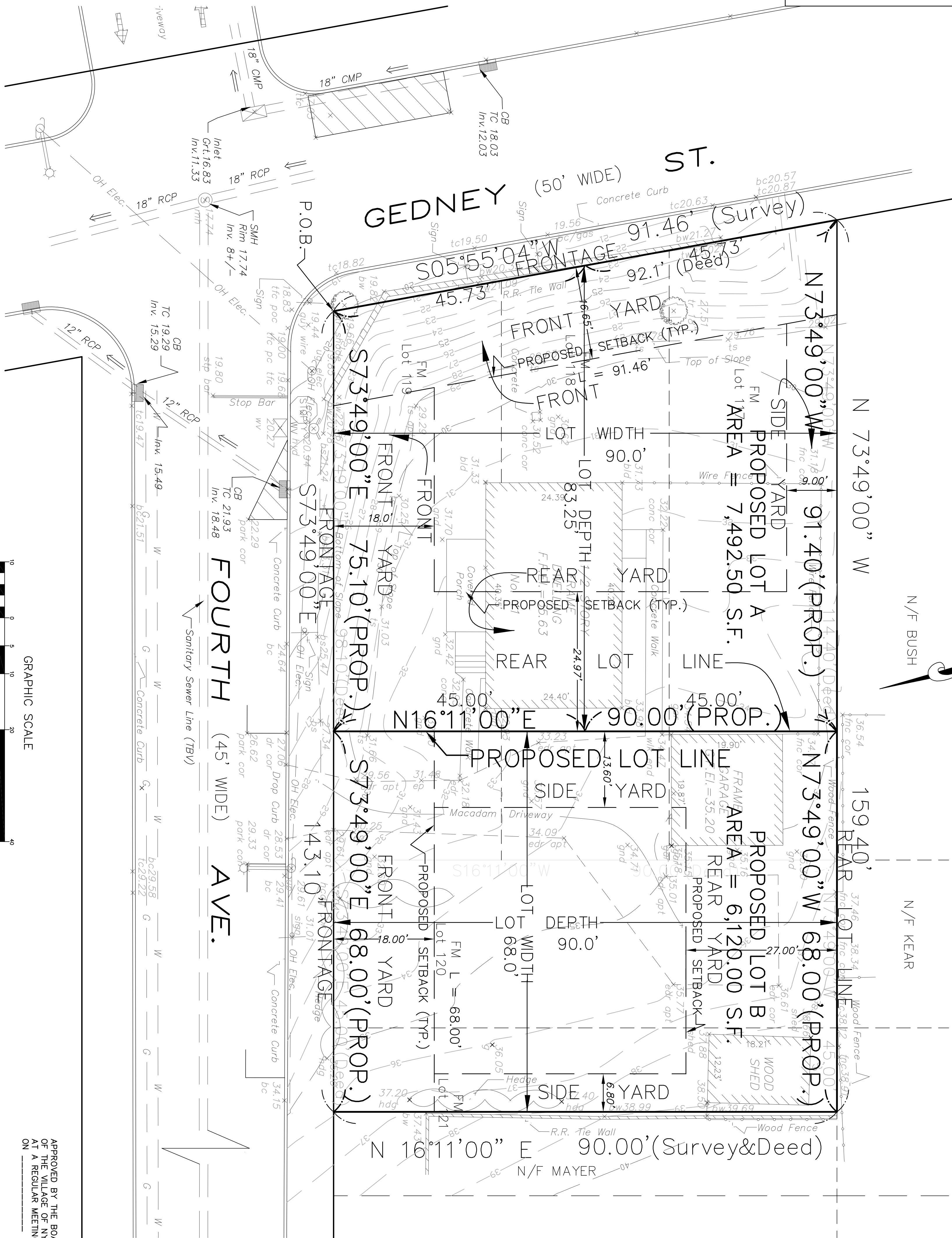


- LEGEND
- RM - RAIN BASIN
 - CB - CATCH BASIN
 - IN - INVERT
 - TC - TOP CURB
 - BC - BOTTOM CURB
 - BS - BOTTOM SLOPE
 - TS - TOP SLOPE
 - FC - FENCE CORNER
 - GR - GROUND
 - IR - IRON PIPE
 - MON - MONUMENT
 - TR - TO BE REMOVED
 - 000.00 - EXISTING ELEVATION
 - 000.00 - PROPOSED ELEVATION
 - 000.00 - CONTOUR
 - 000.00 - PROPOSED CONTOUR
 - W - WATER VALVE
 - V - GAS VALVE
 - C - CATCH BASIN
 - U - UTILITY POLE
 - OH - OVER HEAD WIRES
 - W - WALL
 - P - PROP. SEPAE PIT
 - T - TREE
 - T - TREE TO BE REMOVED
 - D - DRAIN
 - N - NO. 1029



ZONING SCHEDULE				
ZONE - TFR	TWO-FAMILY RESIDENTIAL	SINGLE-FAMILY RESIDENTIAL		
MIN. LOT AREA (S.F.)	10,000	5,000	6,120.00	
MIN. LOT WIDTH (FT.)	75	50	68	
MIN. LOT DEPTH (FT.)	100	83.25*	N/A	N/A
MIN. FRONT YARD (FT.) (G)	16.65	16.65	18.0	18.0
MIN. REAR YARD (FT.) (G)	24.97	24.97	27	27
MIN. ONE SIDE YARD (FT.) (I)	9	9	6.8	6.8
MIN. BOTH SIDE YARDS (FT.) (A)	N/A	N/A	20.4	20.4
MIN. STREET SIDE YARD (FT.)	18	18	N/A	N/A

* INDICATES VARIANCE REQUIRED				
(G) THE FRONT SETBACK SHOULD BE 20% OF LOT AREA DIVIDED BY LOT WIDTH				
(G) 30% OF THE LOT AREA DIVIDED BY THE LOT WIDTH				
(I) THE MINIMUM SIDE YARD SHALL BE FIVE FEET OR 10% OF THE LOT WIDTH, WHICHEVER IS GREATER				
(A) 30% OF THE LOT WIDTH				
(G) FRONT YARD FOR LOT A = $\frac{20\% \times 7,492.50}{90} = 16.65$		FRONT YARD FOR LOT B = $\frac{20\% \times 6,120.00}{68} = 18.00$		
(G) REAR YARD FOR LOT A = $\frac{30\% \times 7,492.50}{90} = 24.97$		REAR YARD FOR LOT B = $\frac{30\% \times 6,120.00}{68} = 27.00$		
(I) SIDE YARD FOR LOT A = $\frac{10\% \times 90}{90} = 9.0$		SIDE YARD FOR LOT B = $\frac{10\% \times 68}{68} = 6.8$		
(A) BOTH SIDE YARDS FOR LOT B = $\frac{30\% \times 68.0}{20.4} = 20.4$				

- GENERAL NOTES
- RECORD OWNER: SCHENLEY VITAL, 18 GEDNEY STREET, SUIT 100, NEW YORK, NY 10090
 - APPLICANT: SAME AS OWNER
 - THIS IS A SUBDIVISION OF LOT 26 BLOCK 2 SECTION 66.30 AS SHOWN ON THE TAX MAP OF THE TOWN OF ORANGETOWN, NEW YORK.
 - AREA OF TRACT IN SQUARE FEET: 13,612.50 SQ. FT.
 - NO BUILDING PERMIT SHALL BE ISSUED UNTIL SITE PLANS HAVE BEEN APPROVED.
 - ALL NEW UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.
 - ALL AREAS DISTURBED BY ON-SITE GRADING SHOULD BE LIMED AND FERTILIZED PRIOR TO SEEDING.
 - ALL BUILDING SEWER CONNECTIONS SHALL BE GRANTY SEWERS WITH A MINIMUM SLOPE OF 2%.
 - HOUSE SEWER AND WATER SERVICE LINES SHALL BE LAID IN SEPARATE TRENCHES WITH A MINIMUM SEPARATION OF 10 FEET.
 - WATER SUPPLY BY VILLAGE OF NYACK WATER DEPARTMENT OR VEOLIA NORTH AMERICA OR THEIR SUCCESSORS.
 - DUE TO THE ASSUMPTION OF A PERCOLATION RATE FOR THE DESIGNED DRAINAGE SYSTEM, THE APPLICANT'S ENGINEER SHALL ADVISE THE VILLAGE OF NYACK PRIOR TO THE INSTALLATION OF THE PROPOSED SEPAE PITS, TO ENSURE ADEQUATE DRAINAGE SYSTEM.
 - PERMIT VESTIGATION COVER OF DISTURBED AREAS SHALL BE ESTABLISHED ON THE SITE WITHIN THIRTY (30) DAYS OF THE COMPLETION OF CONSTRUCTION.
 - THE MAXIMUM SOIL EXPOSURE LIMIT IS 14 DAYS.
 - A SOIL EROSION CONTROL PLAN SHALL BE APPROVED BY THE PLANNING BOARD BEFORE ANY WORK IS BEGUN. SOIL EROSION CONTROL SHALL BE REVIEWED BY THE VILLAGE ENGINEER AND/OR BUILDING INSPECTOR DURING THE SITE WORK AND CONSTRUCTION PROCESS.
 - MAINTENANCE OF STORMWATER SYSTEM & SCHEDULE:
 - MAINTENANCE OF THE SUBJECT PROPERTY SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER.
 - PERIODIC CLEANING OF ROOF LEADERS TO PREVENT DEBRIS FROM ENTERING THE SEPAE PITS (6X MONTH INTERVALS).
 - MOWING AND FERTILIZING OF GRASS AREAS. ALSO, PRUNING AND FERTILIZING OF TREES AND SHRUBS (DURING SEASONAL INTERVALS).
 - SEPAE PITS SHALL BE INSPECTED AND MAINTAINED YEARLY.

APPROVED BY THE BOARD OF ADJUSTMENT
OF THE VILLAGE OF NYACK - TOWN OF ORANGETOWN
AT A REGULAR MEETING HELD
ON _____

CHAIRMAN

SECRETARY

PRELIMINARY PLAT

PROPOSED VITAL MINOR SUBDIVISION

ADDITIONS	LOT 26 BLOCK 2 SECTION 66.30 11 FOURTH AVENUE	DRAWN BY: I.G.
04-17-2025 06-10-2025 08-17-2025 11-18-2025 07-02-2026	VILLAGE OF NYACK - TOWN OF ORANGETOWN ROCKLAND COUNTY, NEW YORK COLLAZIO, ENGINEERING & SURVEYING ASSOC., LLC ENGINEERS • LAND SURVEYORS • PLANNERS	CALC. BY: I.G.
120 1/2 N. BEDFORD AVE. NYACK, NEW YORK 845-396-1510		SCALE: 1" = 10'
1810 CENTRE AVENUE FOR LEE NEW BRISBY 201 944-7774		DATE: 12-16-2024
FILE NO.		10,372
SHEET NO.		1 OF 5

STEVEY & COLLAZIO
NEW YORK STATE LICENSED LAND SURVEYORS
NEW YORK STATE LICENSE NO. 89882

REFERENCE:
LOTS 117, 118, 119, 120 AND PART OF LOT 121 MAP No. 375 FILED IN THE
ROCKLAND COUNTY CLERK'S OFFICE ON APRIL 9, 1839 ENTITLED "MAP OF
PROPERTY IN NYACK, ROCKLAND COUNTY, STATE OF NEW YORK, BELONGING TO
GEDNEY, SEPTEMBER, 1838, MADE BY SAMUEL S. DOUGHTY".
ALSO KNOWN AS LOT 26 BLOCK 2 SECTION 66.30 AS SHOWN ON THE TAX MAP
OF THE TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK.

LEGEND	
	18" - CATCH BASIN
	18" - INLET
	18" - TOP OF CURB
	18" - BOTTOM OF CURB
	18" - BOTTOM OF WALL
	18" - TOP OF SLOPE
	18" - BOTTOM OF SLOPE
	18" - FENCE CORNER
	18" - GROUND FLOOR
	18" - IRON PIN OR PIPE
	18" - MONUMENT
	18" - TO BE REMOVED
	18" - EXISTING ELEVATION
	18" - PROP. ELEVATION
	18" - CONTOUR
	18" - WATER VALVE
	18" - GAS VALVE
	18" - CATCH BASIN
	18" - UTILITY POLE
	18" - OVER HEAD WIRES
	18" - WALL
	18" - PROP. SEWAGE PIT
	18" - TREE
	18" - TREE TO BE REMOVED
	18" - DATUM - NGVD 1929

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY BEARING A LICENSED
LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF
THE NEW YORK STATE EDUCATION LAW.
ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF
THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE
COPIES.

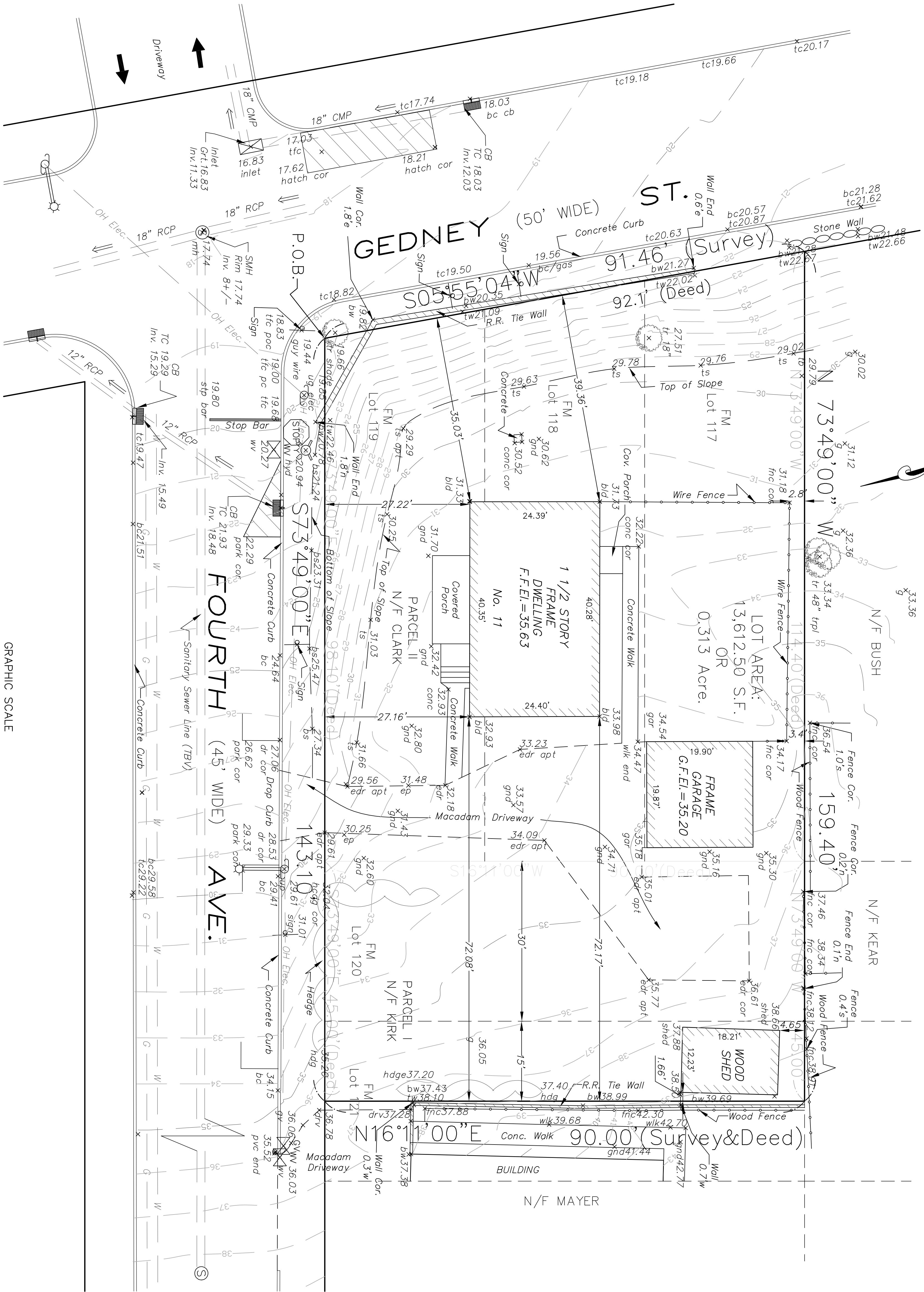
CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN
ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED
BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.
SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS
PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY
AND LENDING INSTITUTION LISTED HEREON. CERTIFICATIONS ARE NOT
TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

IT IS A VIOLATION OF THE STATE EDUCATION LAW FOR ANY PERSON, UNLESS
ACTING UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR, TO ALTER AN
ITEM IN ANY WAY.

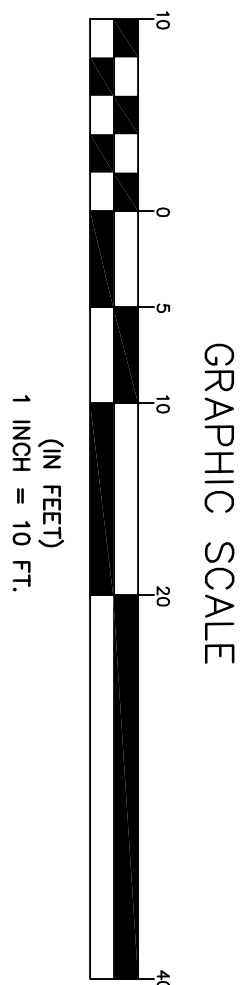
ONLY COPIES OF THIS SURVEY MARKED WITH THE LAND SURVEYOR'S SIGNATURE
AND AN ORIGINAL EMBOSSED OR INKED SEAL ARE THE PRODUCT OF THE LAND
SURVEYOR.

THIS SURVEY WAS PREPARED FOR THE PARTIES AND PURPOSE INDICATED HEREON.
ANY EXTENSION OF THE USE BEYOND THE PURPOSE AGREED TO BETWEEN THE
CLIENT AND THE SURVEYOR EXCEEDS THE SCOPE OF THE ENGAGEMENT.
SUBJECT TO THE FINDINGS OF AN ACCURATE TITLE REPORT.

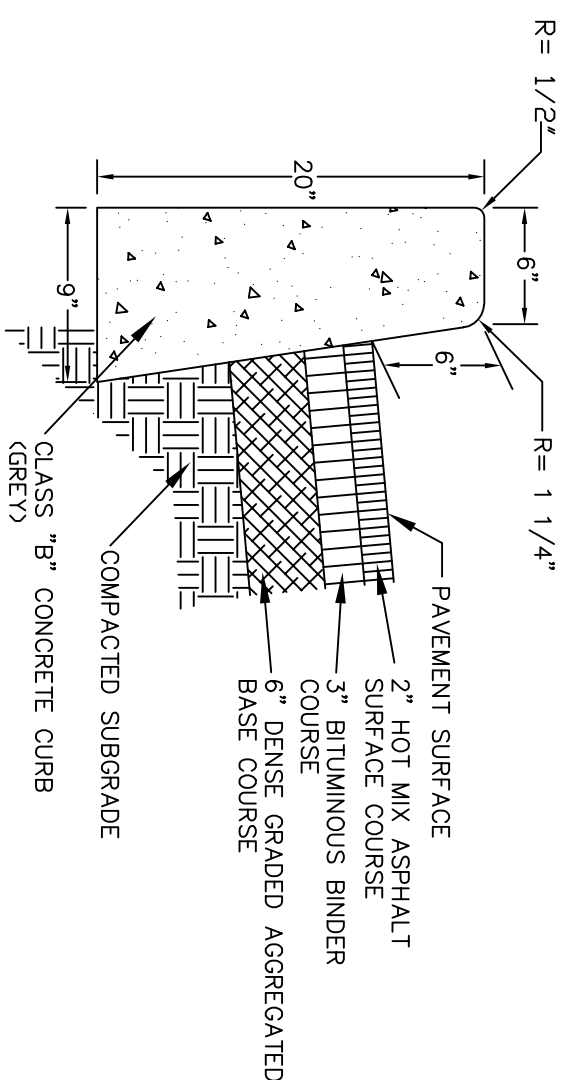
BOUNDARY & TOPOGRAPHIC SURVEY			
ADDITIONS		LOT 26 BLOCK 2 SECTION 66.30 11 FOURTH AVENUE VILLAGE OF NYACK - TOWN OF ORANGETOWN ROCKLAND COUNTY, NEW YORK COLLAZUOL ENGINEERING & SURVEYING ASSOC., LLC ENGINEERS • LAND SURVEYORS • PLANNERS	DRAWN BY: I.G.
12-05-24-Util. Info 01-13-25-Centours 07-22-25-odd. topog		120 1/2 N. BROADWAY NYACK, NEW YORK 945 398-1510	CALC. BY: I.G.
STEVEN J. COLLAZUOL PROF. NEW JERSEY LICENSE No. 31285		1810 CENTERS AVENUE FORT LEE, NEW JERSEY 201 944-7774	SCALE: 1" = 10'
			DATE: 06-28-22
			FILE NO. 10.372
			SHEET NO. 2 OF 5



THIS SURVEY IS CERTIFIED TO BE CORRECT AND ACCURATE TO:
SCHENLEY VITAL
FIRST AMERICAN TITLE INSURANCE COMPANY
THE JUDICIAL TITLE INSURANCE COMPANY

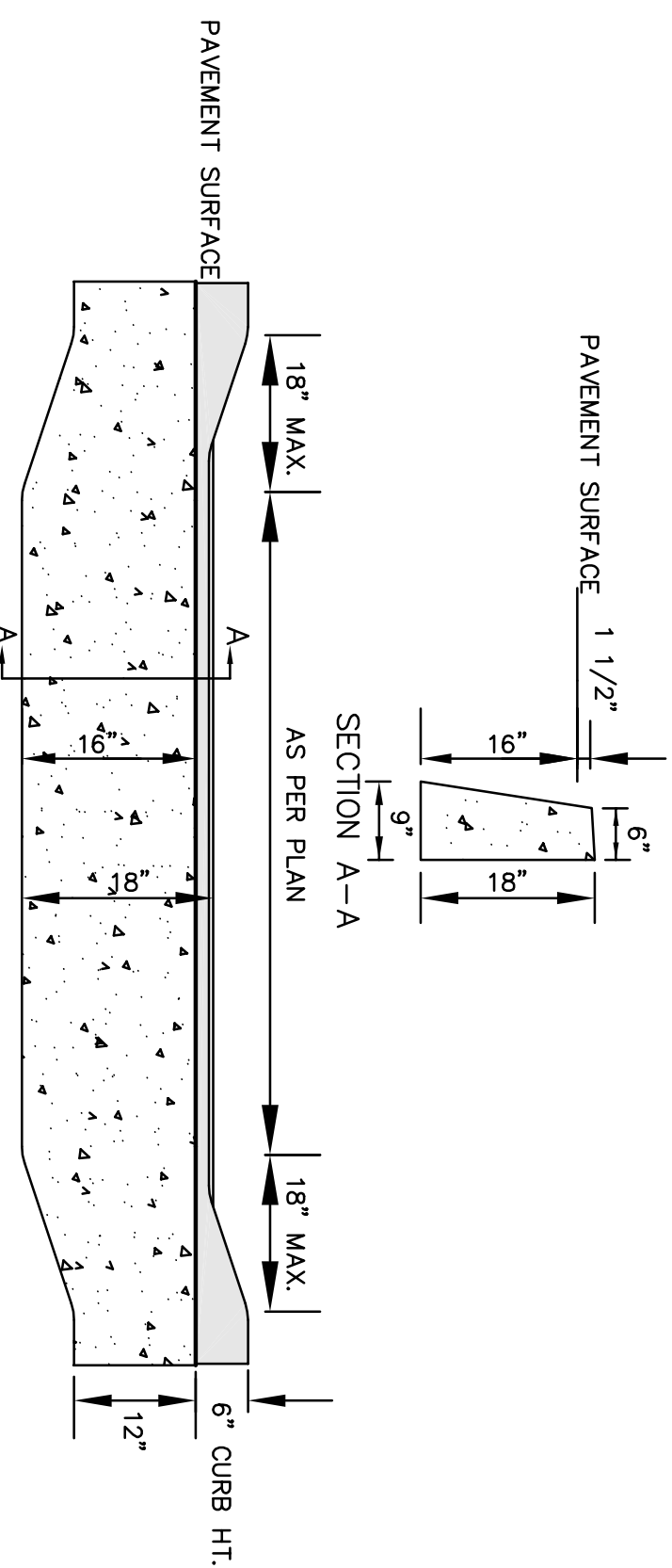
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N.T.S.

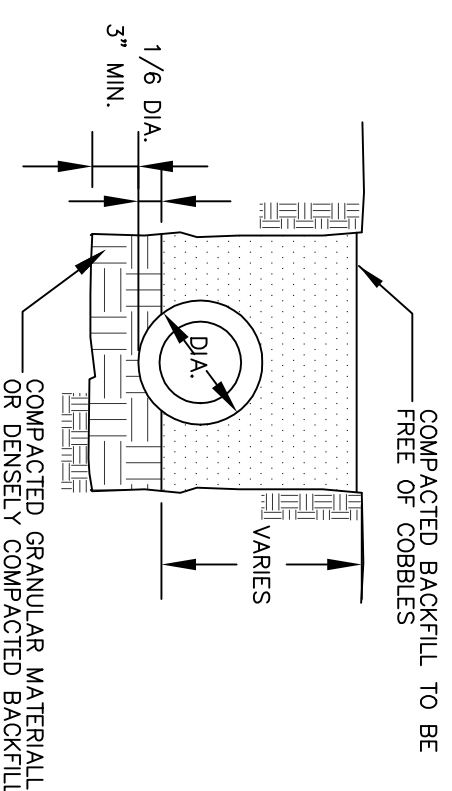


NOTE: TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURBS 10'-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS IMPREGNATED FIBER JOINT FILLER COMPLYING WITH THE REQUIREMENTS OF AASHTO SPECIFICATION M-213 RECESSED 1/4" FROM FACE AND TOP OF CURB.

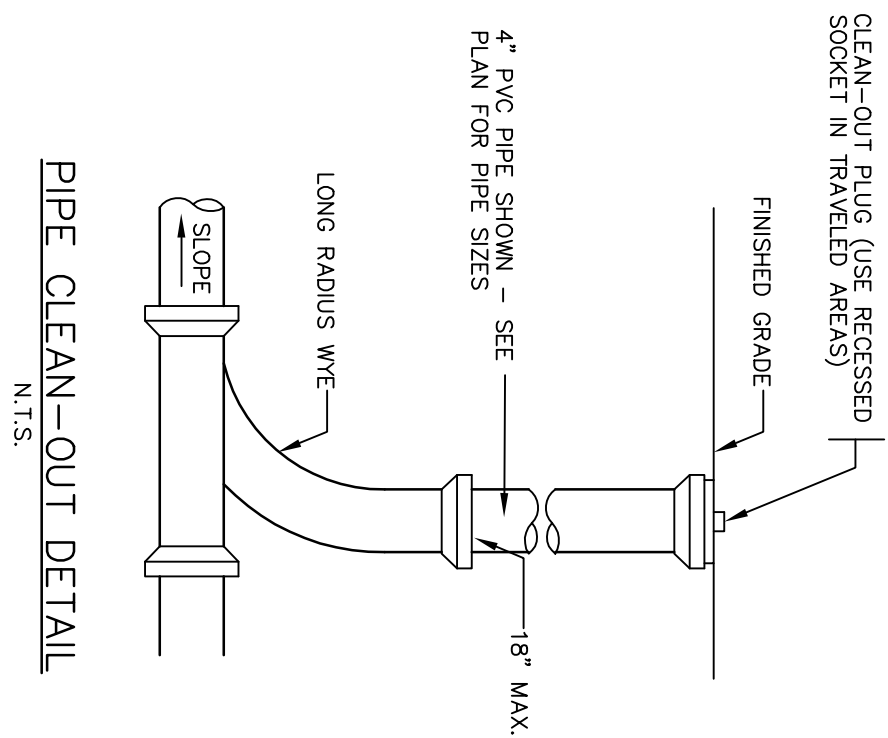
CONCRETE CURB & PAVEMENT



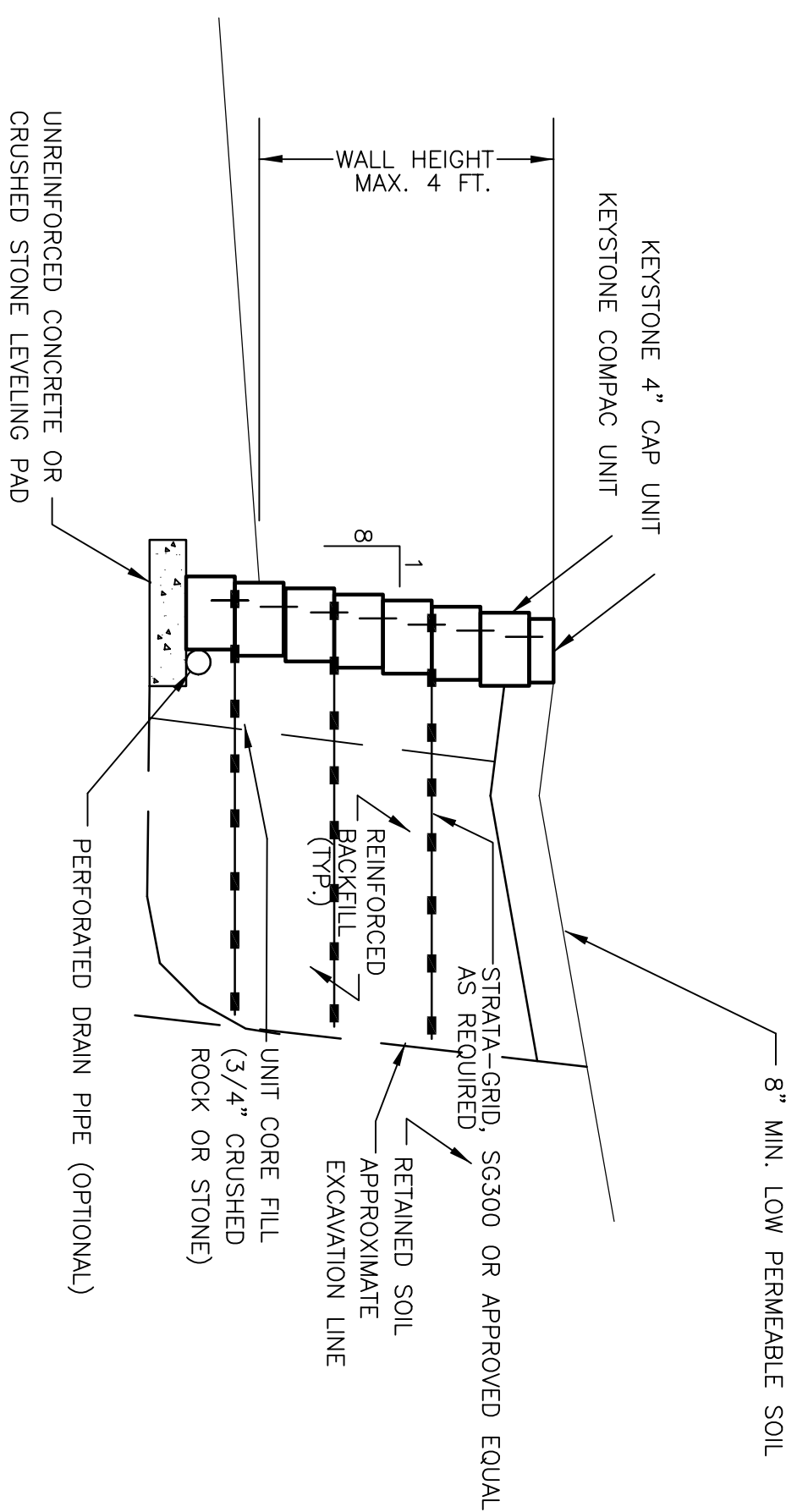
DROP CURB DETAIL



PIPE TRENCH BEDDING DETAIL



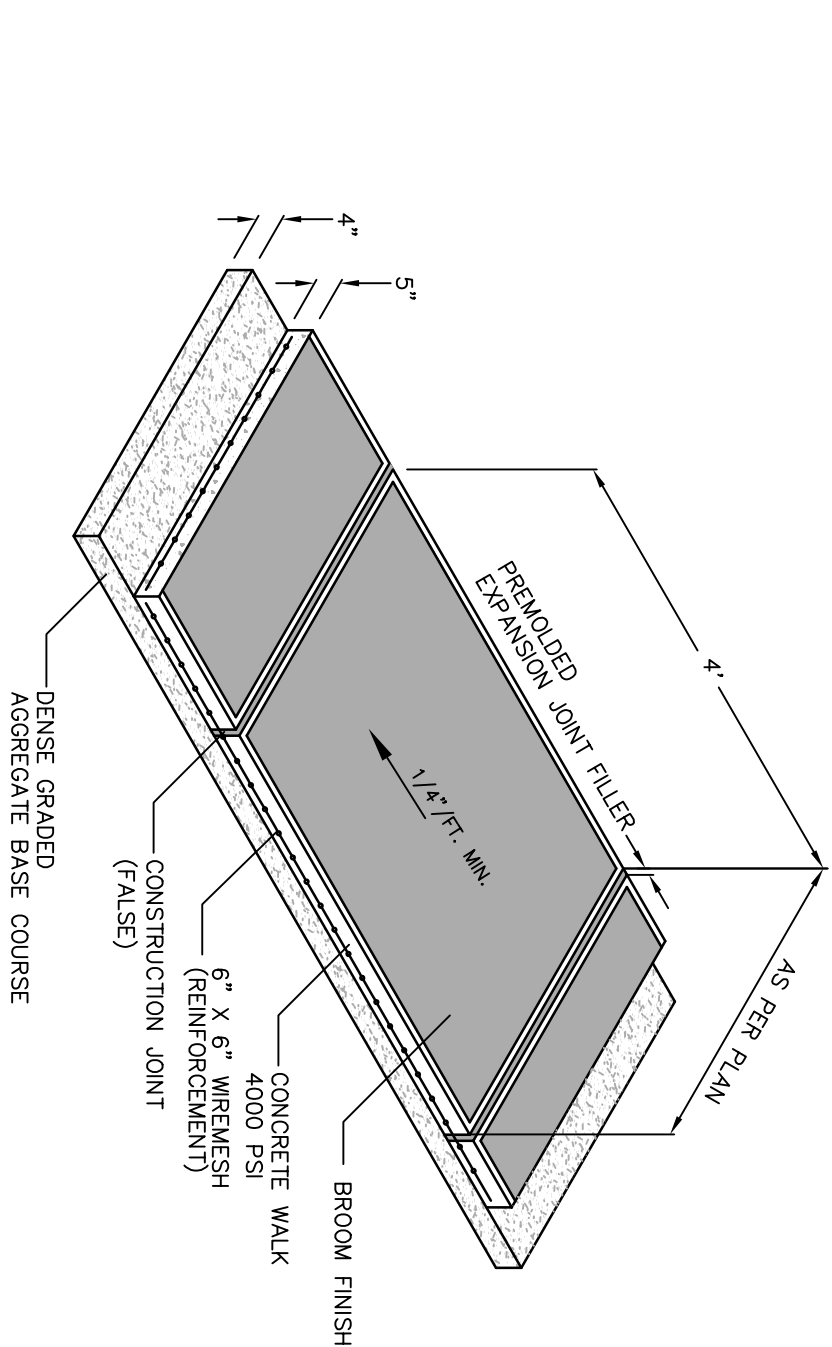
PIPE CLEAN-OUT DETAIL



TYPICAL REINFORCED WALL SECTION

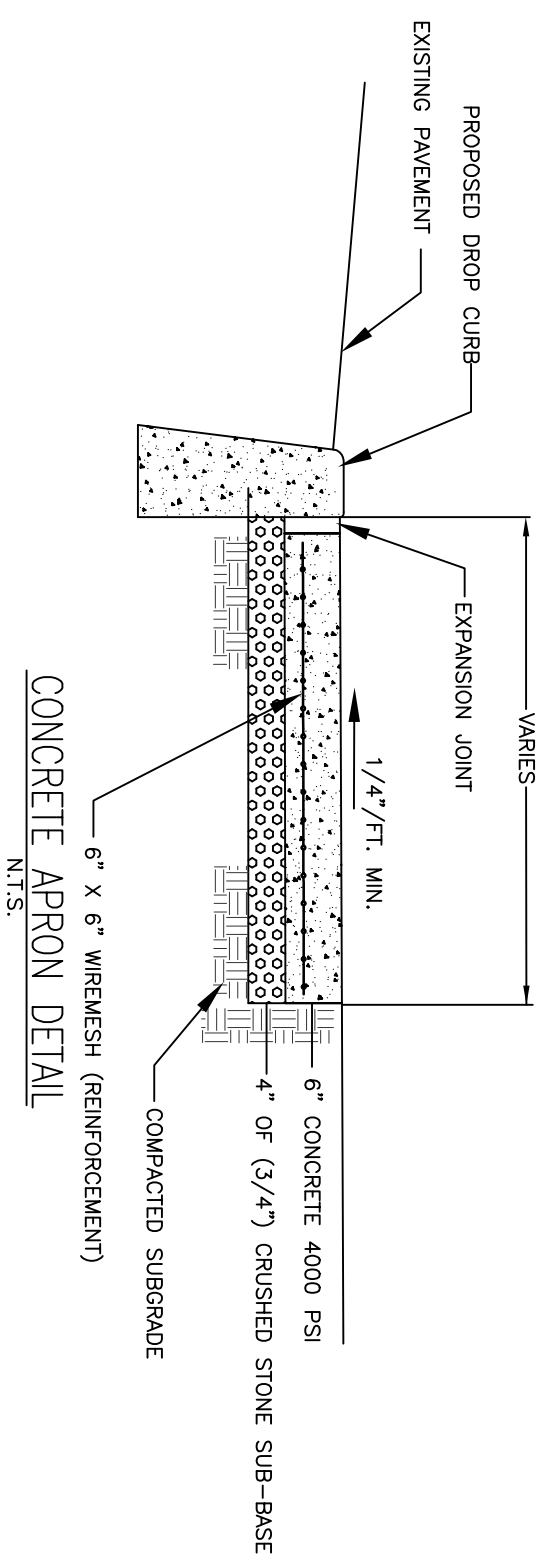
COMPAC UNIT – 1" MINIMUM SETBACK

NOTE: ALL WALLS GREATER THAN 4 FT. TO BE DESIGNED BY OTHERS.



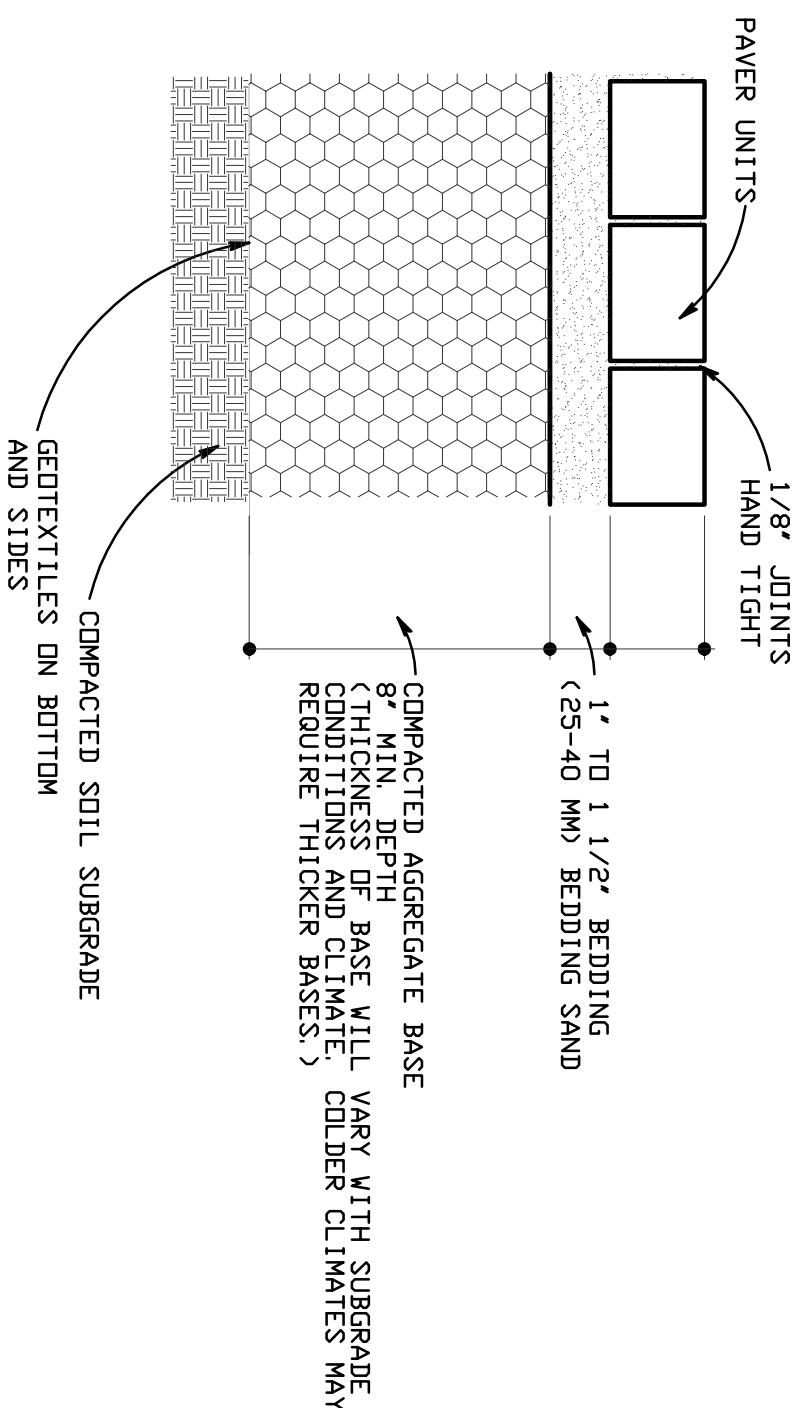
5" THICK CONCRETE SIDEWALK DETAIL

N.T.S.



CONCRETE APRON DETAIL

N.T.S.



CONCRETE PAVER DETAIL

NO SCALE

DETAILS		DRAWN BY: _____ 1:6.
LOT 26 BLOCK 2 SECTION 66.30 11 FOURTH AVENUE VILLAGE OF NYACK – TOWN OF ROCKFELTOWN ROCKLAND COUNTY, NEW YORK		ADDITIONS 03-19-26
COLLAZUL ENGINEERING & SURVEYING ASSOC., LLC ENGINEERS • LAND SURVEYORS • PLANNERS		DATE: 08-13-25 SCALE: 1" = 10'
120 1/2 N. BROADWAY NYACK, NEW YORK 845.308-1810  1610 CENTER AVENUE FORT LEE, NEW JERSEY 201.944-7774		STEVEN M. COLLAZUL NEW YORK PROFESSIONAL ENGINEER, LICENSE NO. 70,688 NEW YORK PROFESSIONAL LAND SURVEYOR, LICENSE NO. 49,682 <i>(Signature of Steven M. Collazul)</i>
FILE NO. 10.372	SHEET NO. 5 OF 5	